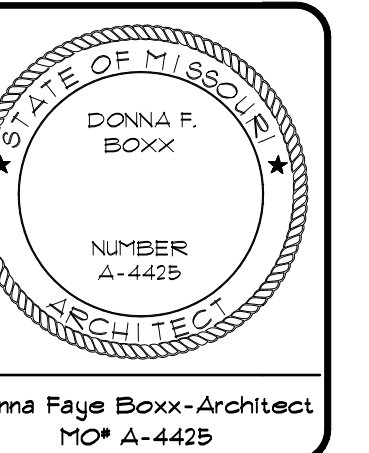




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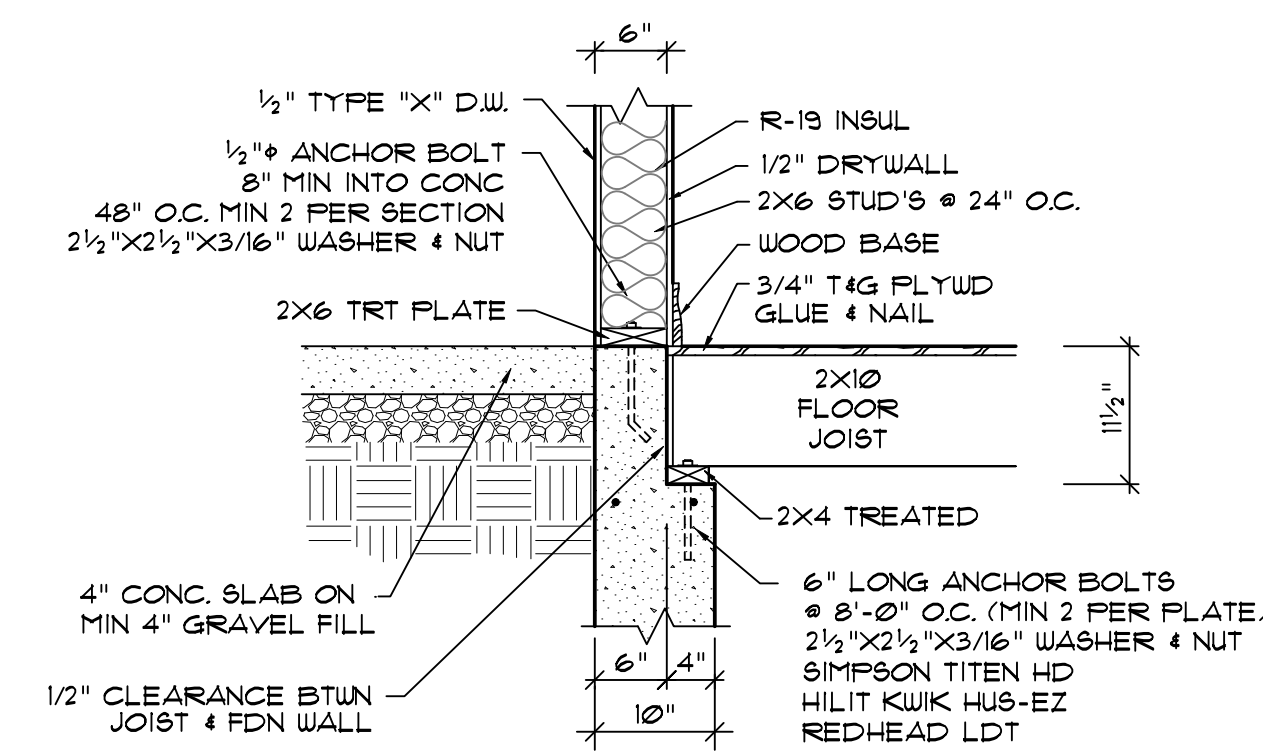
2041 TRADE CENTER DRIVE
ST. PETERS, MISSOURI 63376
636-978-5712



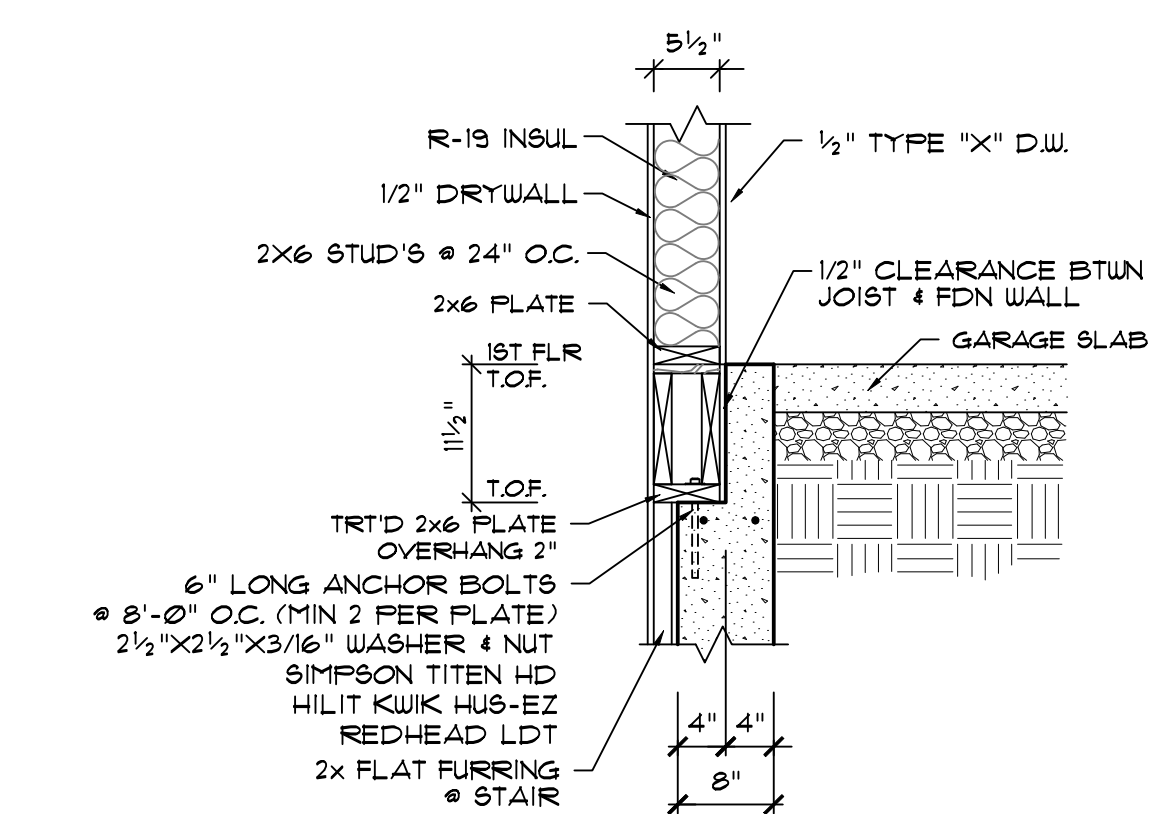
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PROPOSED NEW TOWNHOMES FOR:
2041 TRADE CENTER DRIVE
ST. PETERS, MISSOURI 63376
Habitat for Humanity®
of St. Charles County

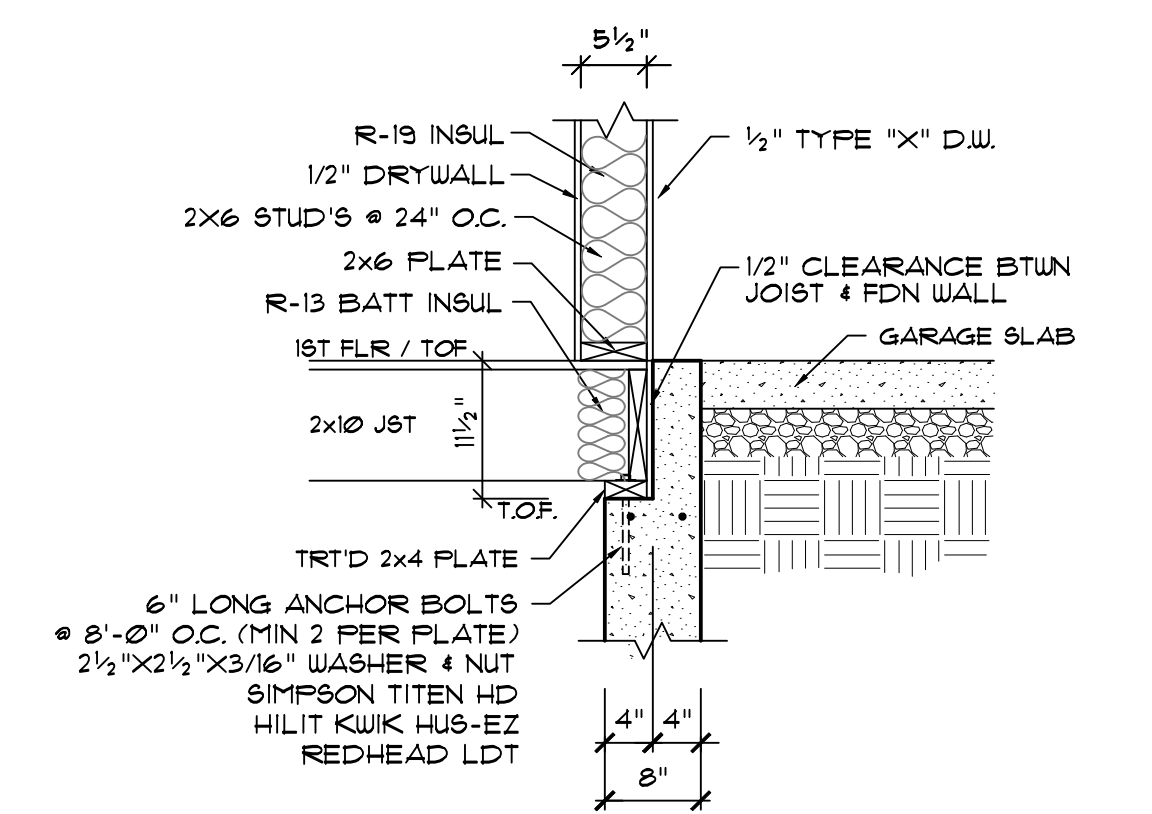
COVER SHEET
WALL SECTIONS / DETAILS
HAVEN POINT
WENTZVILLE, MISSOURI 63385



1 FDN WALL SECTION @ PORCH
3/4" = 1'-0"



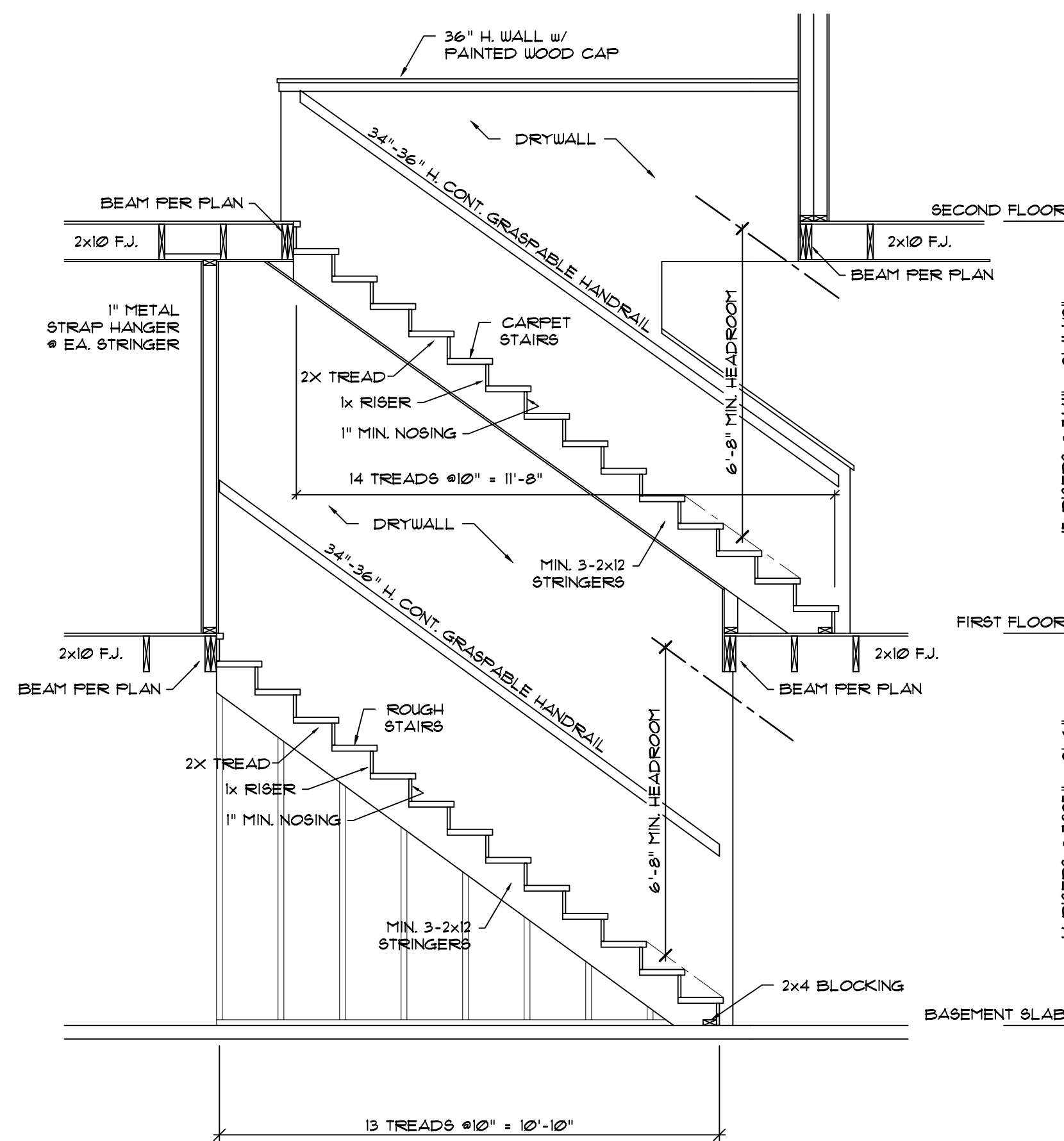
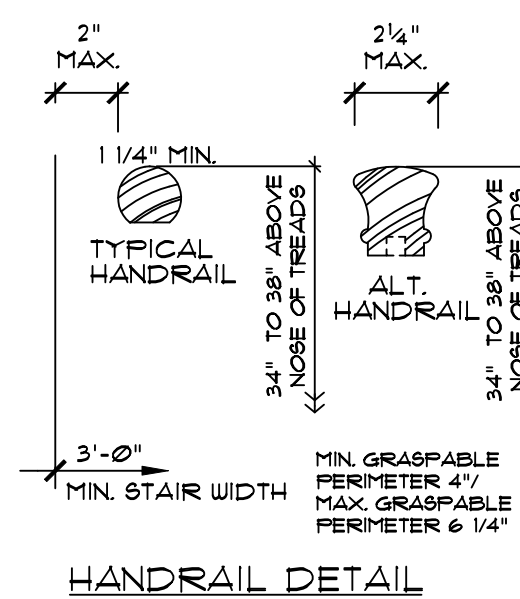
2 FDN WALL SECTION @ STAIRS
3/4" = 1'-0"



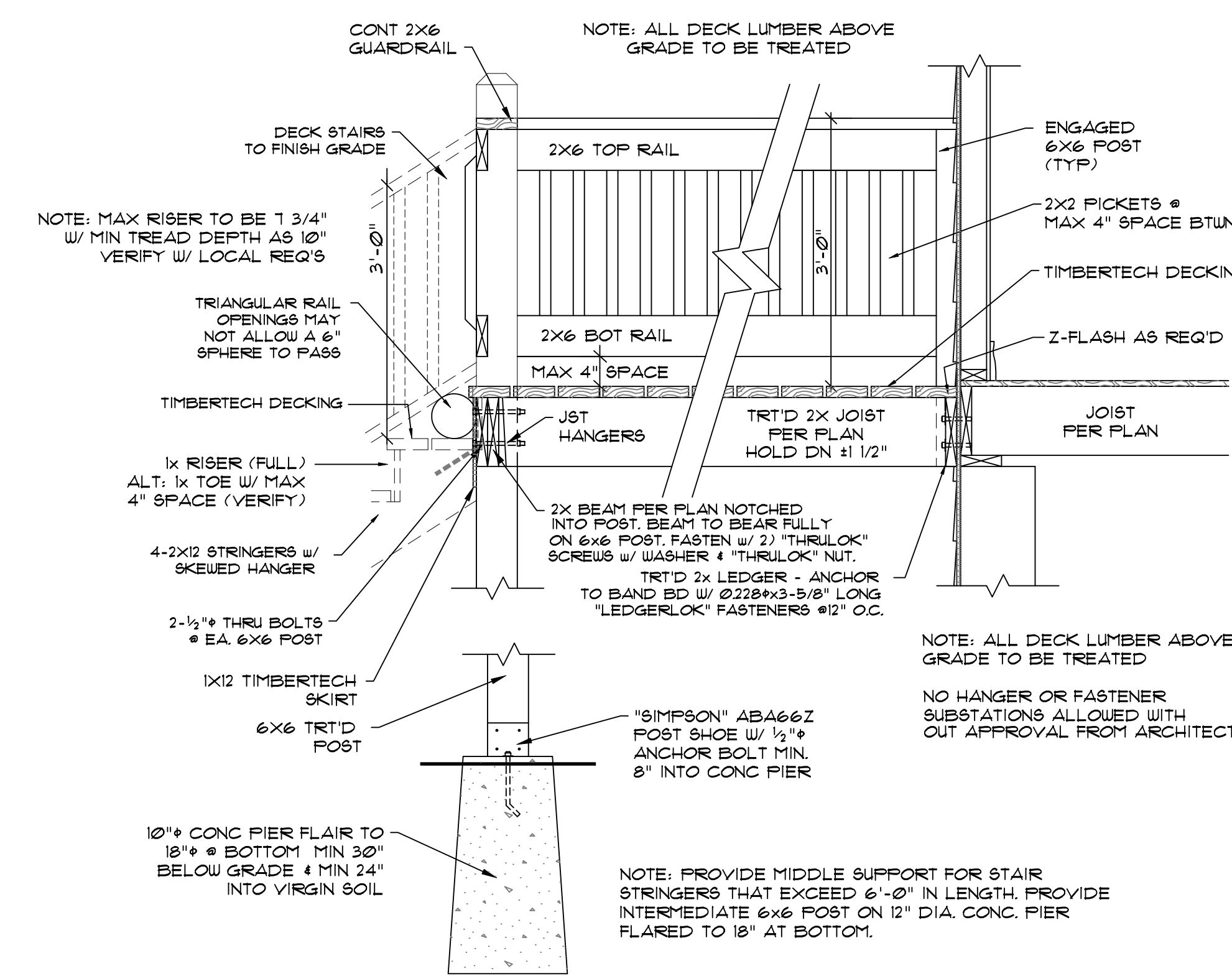
3 FDN WALL SECTION @ GARAGE
3/4" = 1'-0"

STAIR NOTES:

- HANDRAILS SHALL MEET EITHER OF THE FOLLOWING:
(A) CIRCULAR CROSS SECTION WITH A MINIMUM DIAMETER OF 1 1/4" BUT NOT MORE THAN 2".
(B) OTHER APPROVED SHAPES HAVING A MAXIMUM ALLOWABLE HORIZONTAL WIDTH OF 2 1/4" MAXIMUM GRASPABLE PERIMETER DIMENSION OF 6 1/4" AND/OR MINIMUM 4" GRASPABLE PERIMETER DIMENSION.
- HORIZONTAL RAILS, RAILS PARALLEL TO STAIR TREADS, AND ORNAMENTAL PATTERNS THAT PROVIDE A LADDER EFFECT ARE PROHIBITED.
- HANDRAIL ENDS SHALL RETURN TO A WALL OR NEWEL.



STAIR SECTION
3/8" = 1'-0"



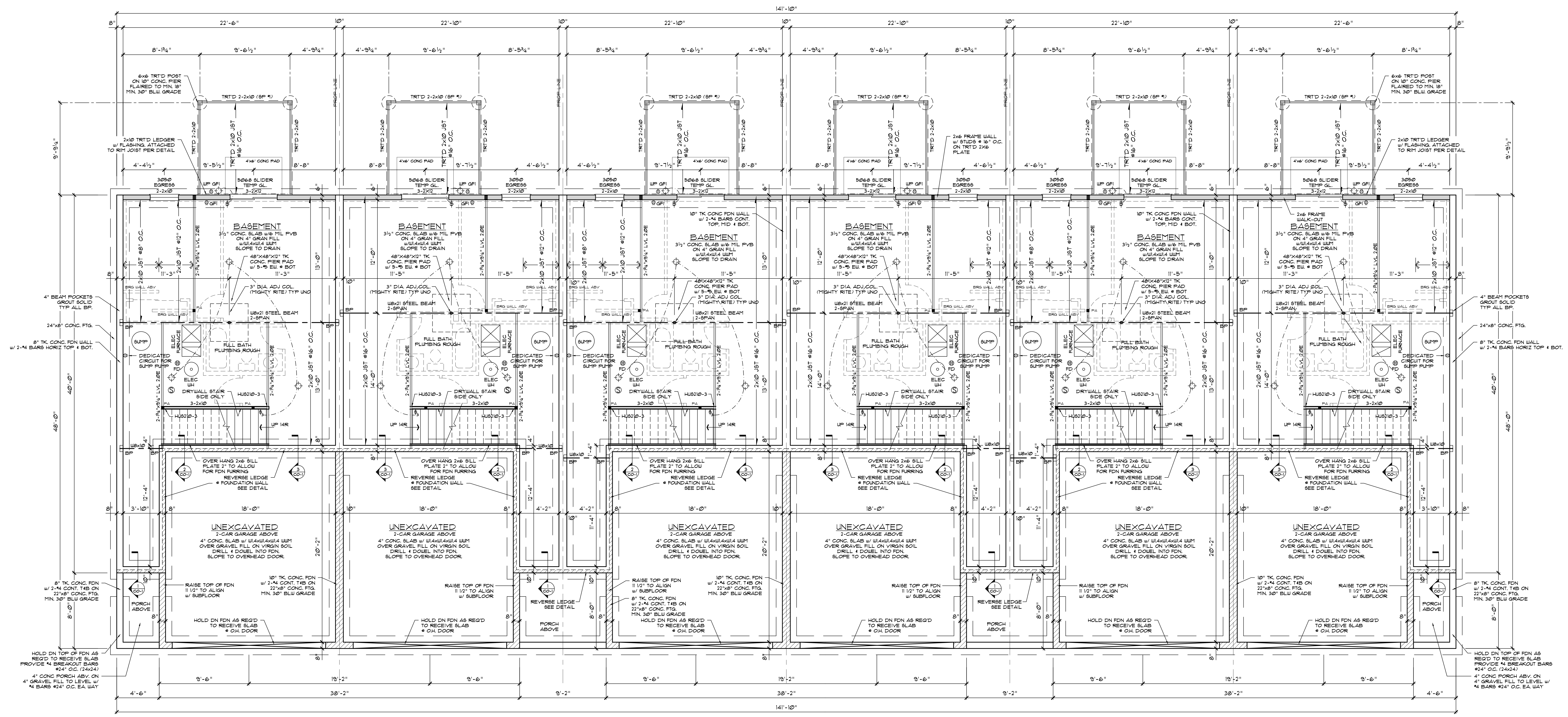
DECK DETAIL
3/4" = 1'-0"

LIST OF DRAWINGS

- CO-1 COVER SHEET
- WALL SECTIONS / DETAILS
- GN-1 GENERAL NOTES
- A-1 FOUNDATION / BASEMENT PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 SECOND FLOOR FRAMING / FIRST FLOOR ROOF FRAMING PLAN
- A-5 SECOND FLOOR ROOF FRAMING PLAN
- A-6 EXTERIOR ELEVATIONS
- A-7 EXTERIOR ELEVATIONS
- A-8 WALL BRACING DETAILS
- E-1 FIRST FLOOR ELECTRIC PLAN
- E-2 SECOND FLOOR ELECTRIC PLAN

ABBREVIATIONS

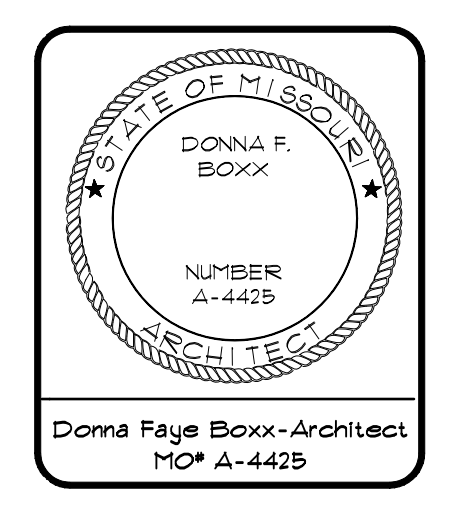
A	ANGLE	ENCL.	ENCLOSURE	N.I.C.	NOT IN CONTRACT
B	BENCH	EQPT.	EQUIPMENT	N.S.	NOT TO SCALE
C	CENTERLINE	E.M.C.	ELECTRIC METER CABINET	O.A.	OVERALL
D	DIAMETER	EXST.	EXISTING	O.C.	ON CENTER
E	EXISTING	EXP.	EXPOSURE	O.D.	OUTSIDE DIAMETER
F	FACE	EXT.	EXTERIOR	OP.	OPENING
G	GRADE	EXP.	EXPANSION	OPR.	OPENING
H	HIGH	EXT.	EXTERIOR		
I	INTERIOR				
J	JOB				
K	KITCHEN				
L	LABORATORY				
M	MATERIAL				
N	NOTE				
O	OPENING				
P	PROPERTY LINE				
Q	QUARRY TILE				
R	RISER				
S	SCHEDULE				
T	TOP				
U	UNDER				
V	VERTICAL				
W	WITH				
X	WITHOUT				
Y	YIELD				
Z	ZONING				



FOUNDATION / BASEMENT PLAN

1/4" = 1'-0"

- FOUNDATION NOTES:
1. 8'-0" FDN FOUR
 2. STEP FOOTING AND FOUNDATION TO 30" MIN. BELOW GRADE INCLUDING OPERATIONAL CONDITION OCCURS.
 3. PROVIDE 2-# REBAR AROUND ALL OPENINGS IN THE FOUNDATION EXTENDING 24" MIN. BEYOND THE CORNERS OF THE OPENINGS.
 4. BASEMENT SLAB & FIRST FLOOR FRAMING, INCLUDING SUBFLOOR, MUST BE IN PLACE PRIOR TO BACKFILL OPERATION.
 5. PROVIDE "ZIP STRIP" INSULATION JOINTS AS REQUIRED.
 6. HABITABLE FINISHED SPACE IN THE BASEMENT SHALL REQUIRE EMERGENCY EGRESS AND RESCUE OPENINGS. SEE DETAILS.

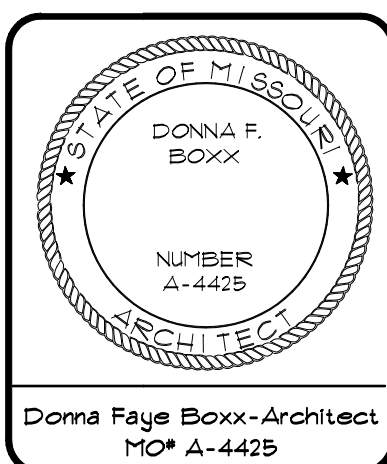


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PROPOSED NEW TOWNHOMES FOR:
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 ST. PETERS, MISSOURI 63376

FOUNDATION / BASEMENT PLAN
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE	2-21-2024	JOB	2022-95
REV.			
REV.			
REV.			
SHEET			

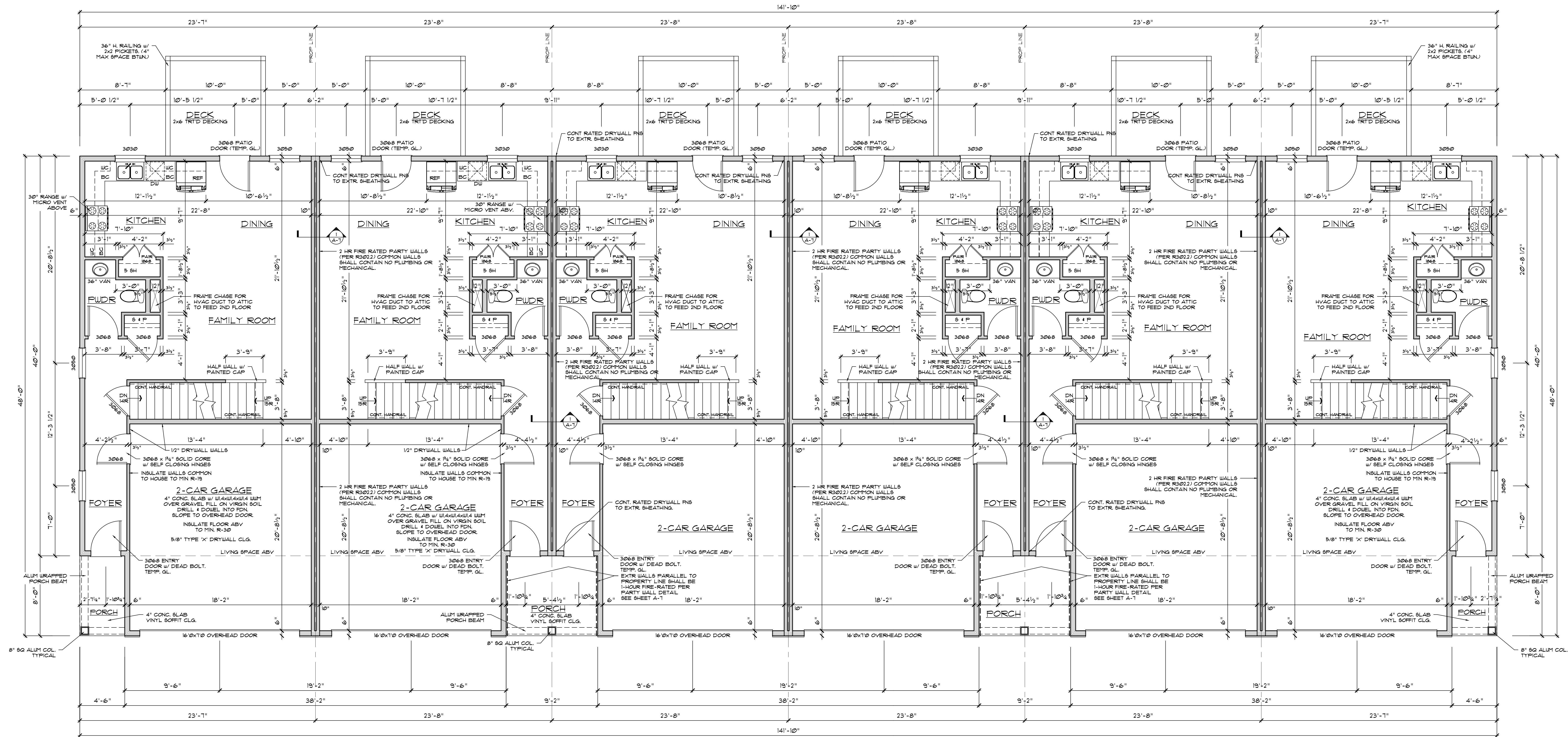


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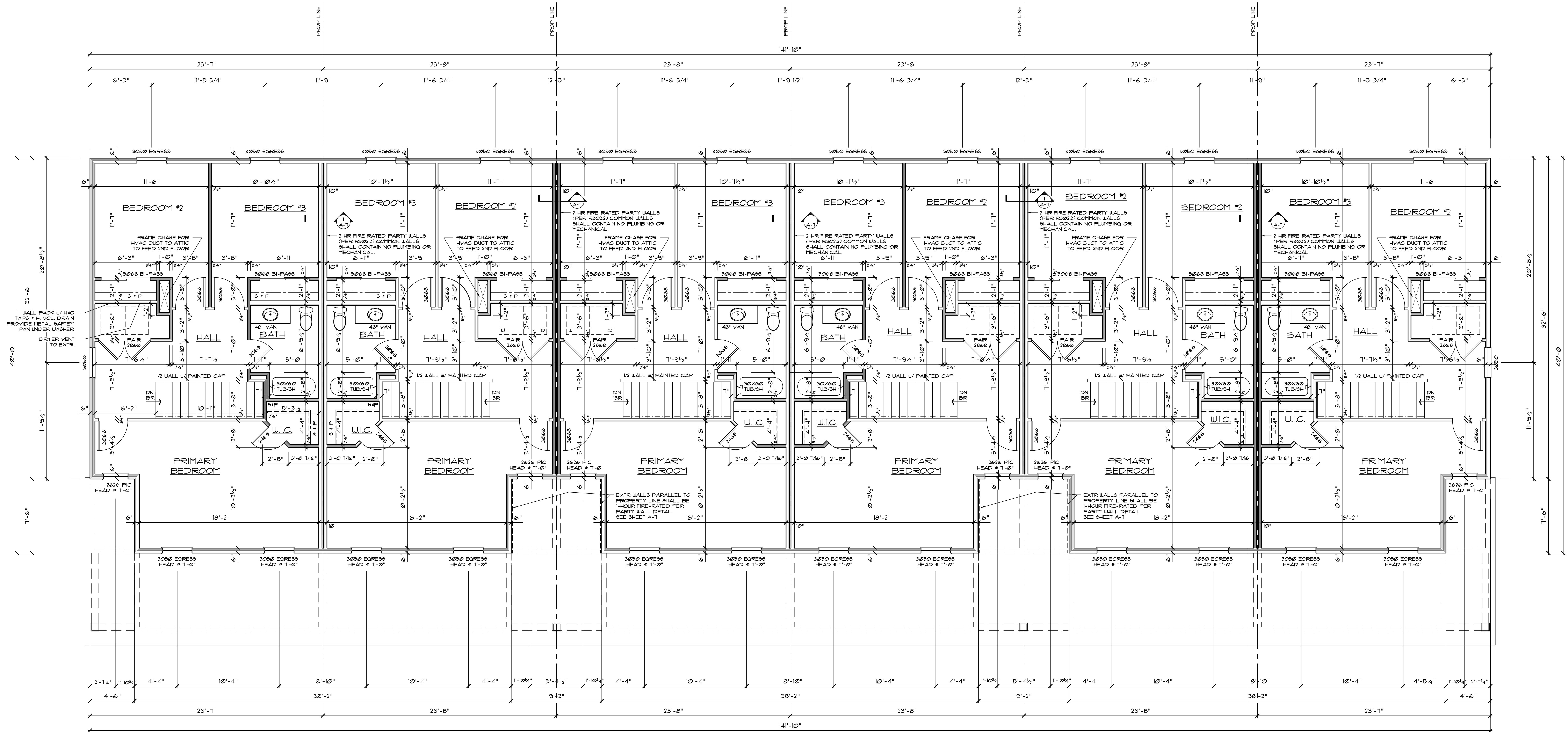
PROPOSED NEW TOWNHOMES FOR:
Habitat for Humanity
 2041 TRADE CENTER DRIVE
 ST. PETERS, MISSOURI 63376
 of St. Charles County

FIRST FLOOR PLAN
HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE: 2-21-2024 JOB: 2022-95
 REV: _____
 REV: _____
 REV: _____
 SHEET: **A-2**
 2 of 8 SHEETS



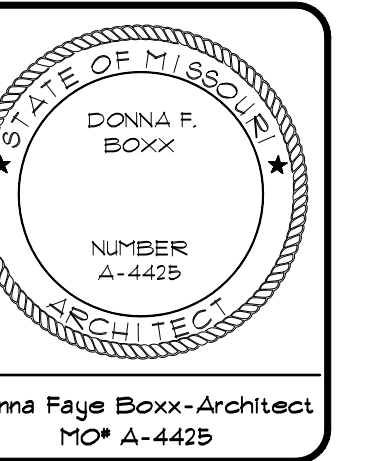
FIRST FLOOR PLAN
 698 SF each unit
 1/4" = 1'-0"



SECOND FLOOR PLAN

873 SF each unit

1/4" = 1'-0"

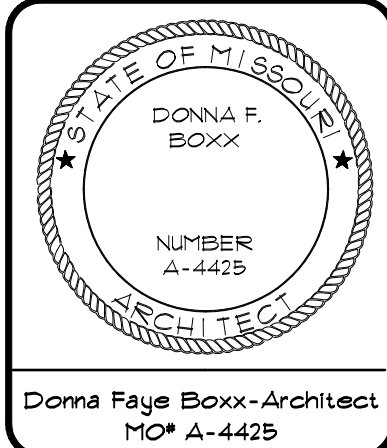


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SECOND FLOOR PLAN
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE:	2-21-2024	JOB:	2022-95
REV:			
REV:			
SHEET:			
A-3			
3 of 8 SHEETS			



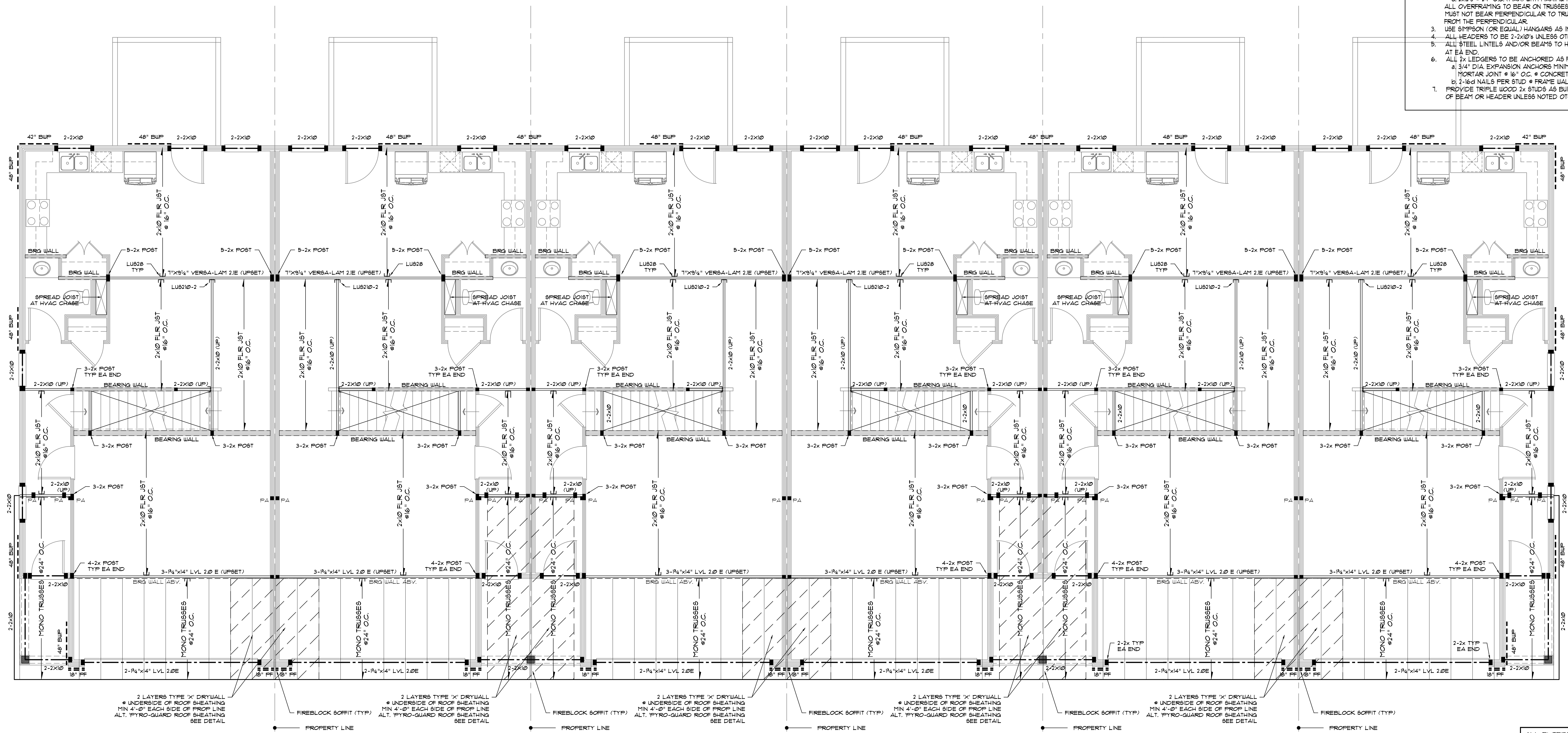
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PROPOSED NEW TOWNHOMES FOR:
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FIRST FLOOR ROOF FRAMING /
 SECOND FLOOR FRAMING PLAN
HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE: 2-21-2024 JOB: 2022-95
 REV: _____
 REV: _____
 REV: _____
 SHEET: _____
A-4
 4 of 8 SHEETS

- ### FRAMING & ROOF FRAMING NOTES
- ALL TRUSSES TO BE DESIGNED BY OTHERS.
 - SHADED AREAS INDICATE OVERFRAMING. ALL OVERFRAMING AT ROOF SYSTEM TO BE AS FOLLOWS:
 - MINIMUM 2x6's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 9'-6"
 - 2x8's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 12'-6"
 - 2x10's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 15'-6"
 - 2x12's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 17'-6"
 - ALL OVERFRAMING TO BEAR ON TRUSSES OR RAFTERS BELOW. STUD WALLS MUST NOT BEAR PERPENDICULAR TO TRUSS OR RAFTER, BUT BEAR AT AN ANGLE FROM THE PERPENDICULAR.
 - USE SIMPSON (OR EQUAL) HANGARS AS INDICATED ON PLANS.
 - ALL HEADERS TO BE 2-2x10's UNLESS OTHERWISE NOTED.
 - ALL STEEL INTELS AND/OR BEAMS TO HAVE A MINIMUM BEARING OF 8' AT EA END.
 - ALL 2x LEDGERS TO BE ANCHORED AS FOLLOWS:
 - 3/4" DIA EXPANSION ANCHORS MINIMUM 5" EMBEDMENT INTO MORTAR JOINT @ 16" O.C. @ CONCRETE OR SOLID MASONRY WALLS.
 - 2-16d NAILS PER STUD @ FRAME WALLS.
 - PROVIDE TRIPLE WOOD 2x STUDS AS BUILT UP COLLUMS AT EA END OF BEAM OR HEADER UNLESS NOTED OTHERWISE.



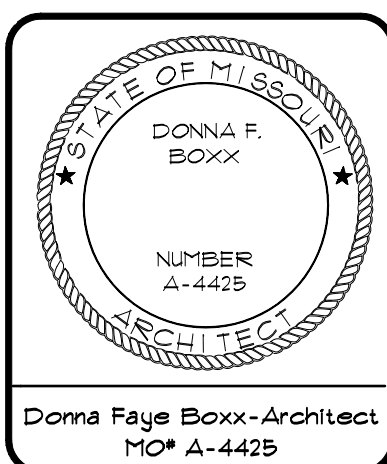
2 LAYERS TYPE 'X' DRYWALL
 * UNDERSIDE OF ROOF SHEATHING
 MIN 4'-0" EACH SIDE OF PROP LINE
 ALT. PYRO-GUARD ROOF SHEATHING
 SEE DETAIL

FIREBLOCK SOFFIT (TYP)

PROPERTY LINE

FIRST FLOOR ROOF FRAMING
 / SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"

ALL EXTERIOR WALLS ARE FULLY SHEATHED W/ MIN. 7/16" WD. STRUCTURAL PANEL SHEATHING
 (BWP) -
 INTERIOR BRACED WALL PANEL PER METHOD GB (GYPSUM BOARD)
 BWP -
 BRACED WALL PANEL INSTALLED ACCORDING TO 2021 I.R.C. R602 (WOOD STRUCTURAL PANEL SHEATHING)
 PF (PORTAL FRAME) ■■■■
 SEE DETAILS ON SHEET A-8



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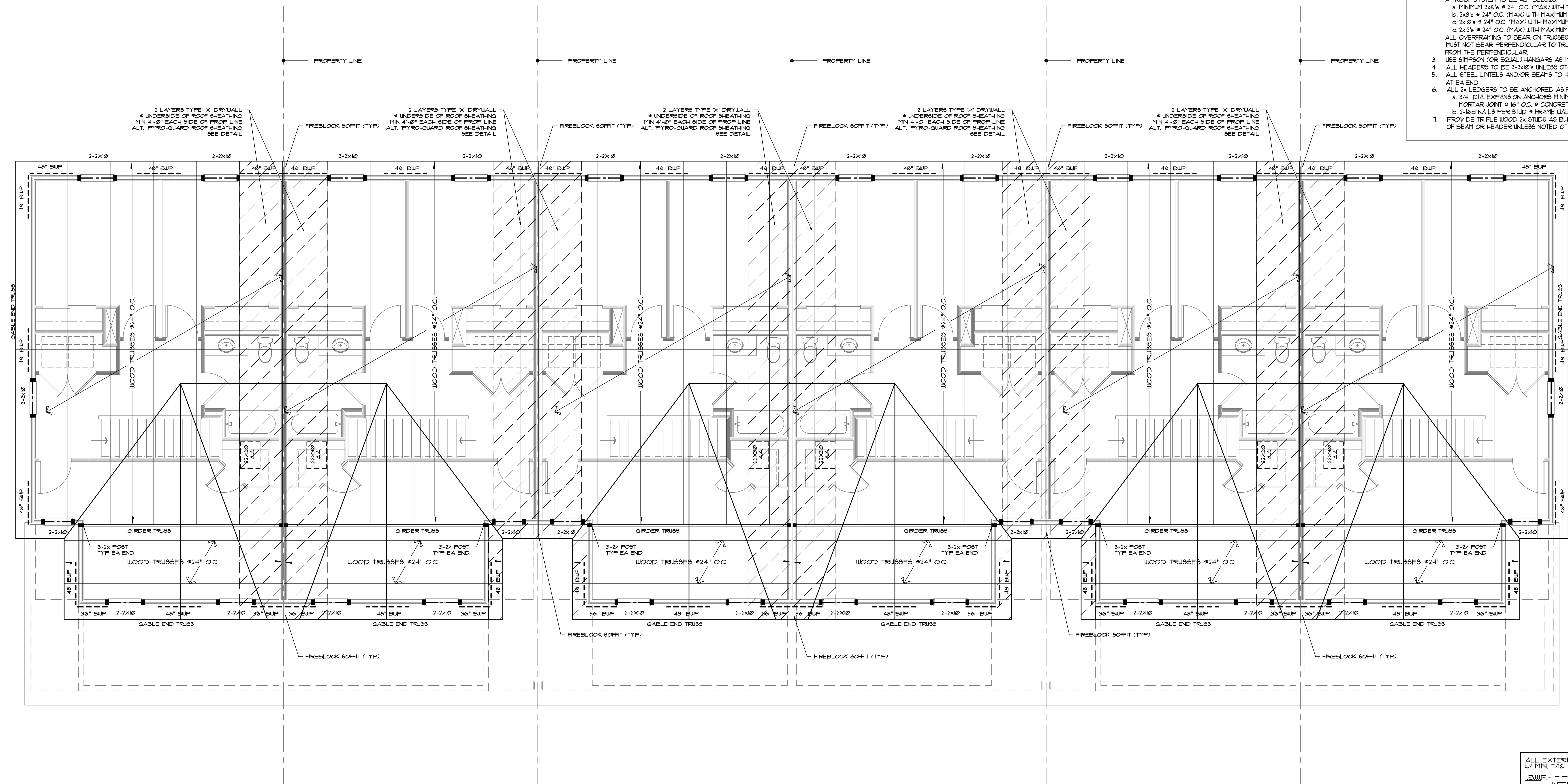
PROPOSED NEW TOWNHOMES FOR:
Habitat for Humanity
 of St. Charles County
 2041 TRADE CENTER DRIVE
 ST. PETERS, MISSOURI 63376

SECOND FLOOR ROOF FRAMING PLAN
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE: 2-21-2024 JOB: 2022-95
 REV: _____
 REV: _____
 REV: _____
 SHEET: _____
A-5
 5 OF 8 SHEETS

FRAMING & ROOF FRAMING NOTES

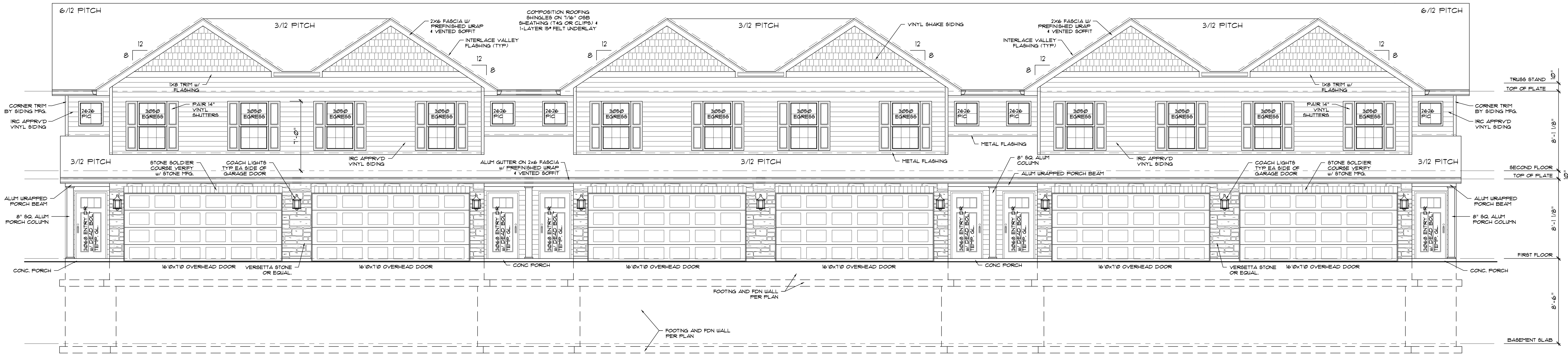
- ALL TRUSSES TO BE DESIGNED BY OTHERS.
- SHADED AREAS INDICATE OVERFRAMING. ALL OVERFRAMING AT ROOF SYSTEM TO BE AS FOLLOWS:
 - MINIMUM 2x6's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 9'-6"
 - 2x8's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 12'-6"
 - 2x10's @ 24" O.C. (MAX) WITH MAXIMUM SPAN OF 17'-6"
- ALL OVERFRAMING TO BEAR ON TRUSSES OR RAFTERS BELOW. STUD WALLS MUST NOT BEAR PERPENDICULAR TO TRUSS OR RAFTER, BUT BEAR AT AN ANGLE FROM THE PERPENDICULAR.
- USE SIMPSON (OR EQUAL) HANGARS AS INDICATED ON PLANS.
- ALL HEADERS TO BE 2-2x10'S UNLESS OTHERWISE NOTED.
- ALL STEEL LINTELS AND/OR BEAMS TO HAVE A MINIMUM BEARING OF 8" AT EA END.
- ALL 2x LEDGERS TO BE ANCHORED AS FOLLOWS:
 - 3/4" DIA EXPANSION ANCHORS MINIMUM 5" EMBEDMENT INTO MORTAR JOINT @ 16" O.C. @ CONCRETE OR SOLID MASONRY WALLS.
 - 2-16d NAILS PER STUD @ FRAME WALLS.
- PROVIDE TRIPLE WOOD 2x STUDS AS BUILT UP COLUMNS AT EA END OF BEAM OR HEADER UNLESS NOTED OTHERWISE.



SECOND FLOOR ROOF FRAMING PLAN

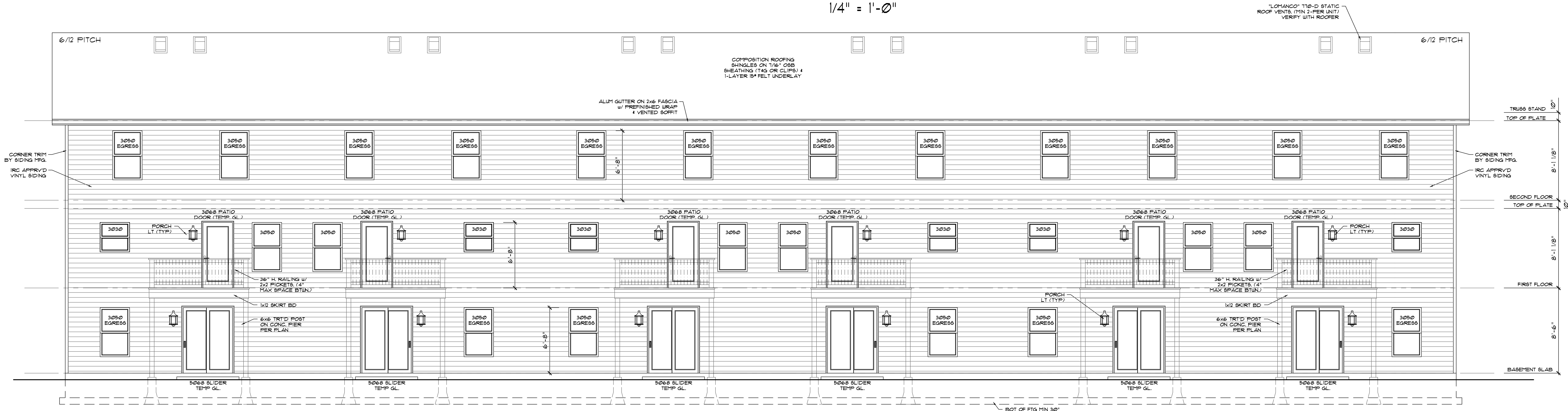
1/4" = 1'-0"

ALL EXTERIOR WALLS ARE FULLY SHEATHED W/ MIN. 7/16" WD. STRUCTURAL PANEL SHEATHING
 B.W.P. - INTERIOR BRACED WALL PANEL PER METHOD GB (GYPSUM BOARD)
 B.W.P. - BRACED WALL PANEL, INSTALLED ACCORDING TO 2021 I.R.C. R602 (WOOD STRUCTURAL PANEL SHEATHING)
 P.F. (PORTAL FRAME) ■■■■
 SEE DETAILS ON SHEET A-8



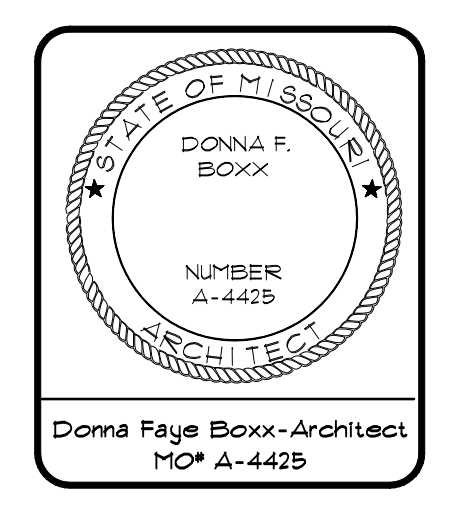
FRONT ELEVATION - 6 UNITS

1/4" = 1'-0"



REAR ELEVATION - 6 UNITS

1/4" = 1'-0"



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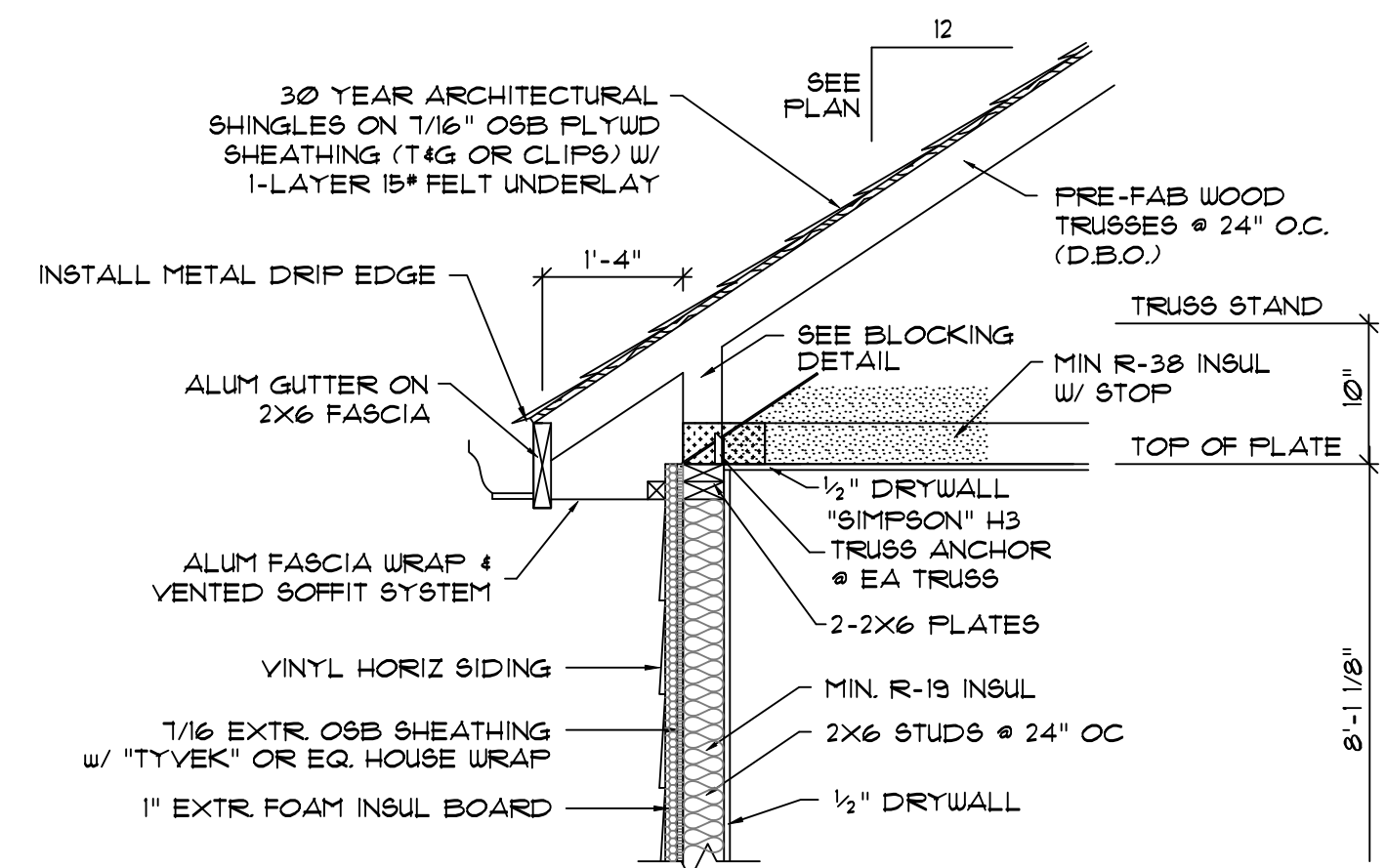
PROPOSED NEW TOWNHOMES FOR:
Habitat for Humanity
 of St. Charles County
 2041 TRADE CENTER DRIVE
 ST. PETERS, MISSOURI 63376

EXTERIOR ELEVATIONS
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE:	2-21-2024	JOB:	2022-95
REV:			
REV:			
SHEET:			

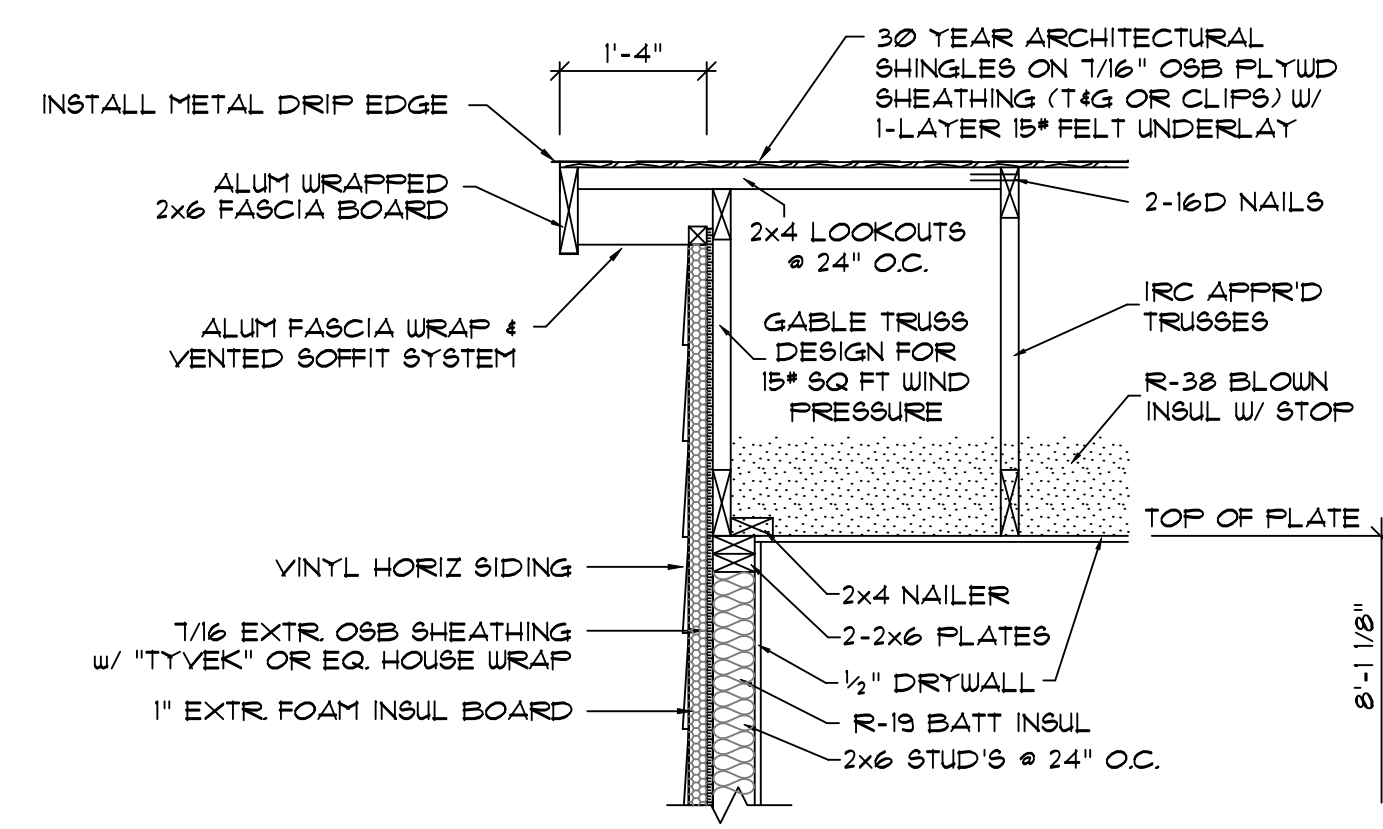
A-6

6 OF 8 SHEETS



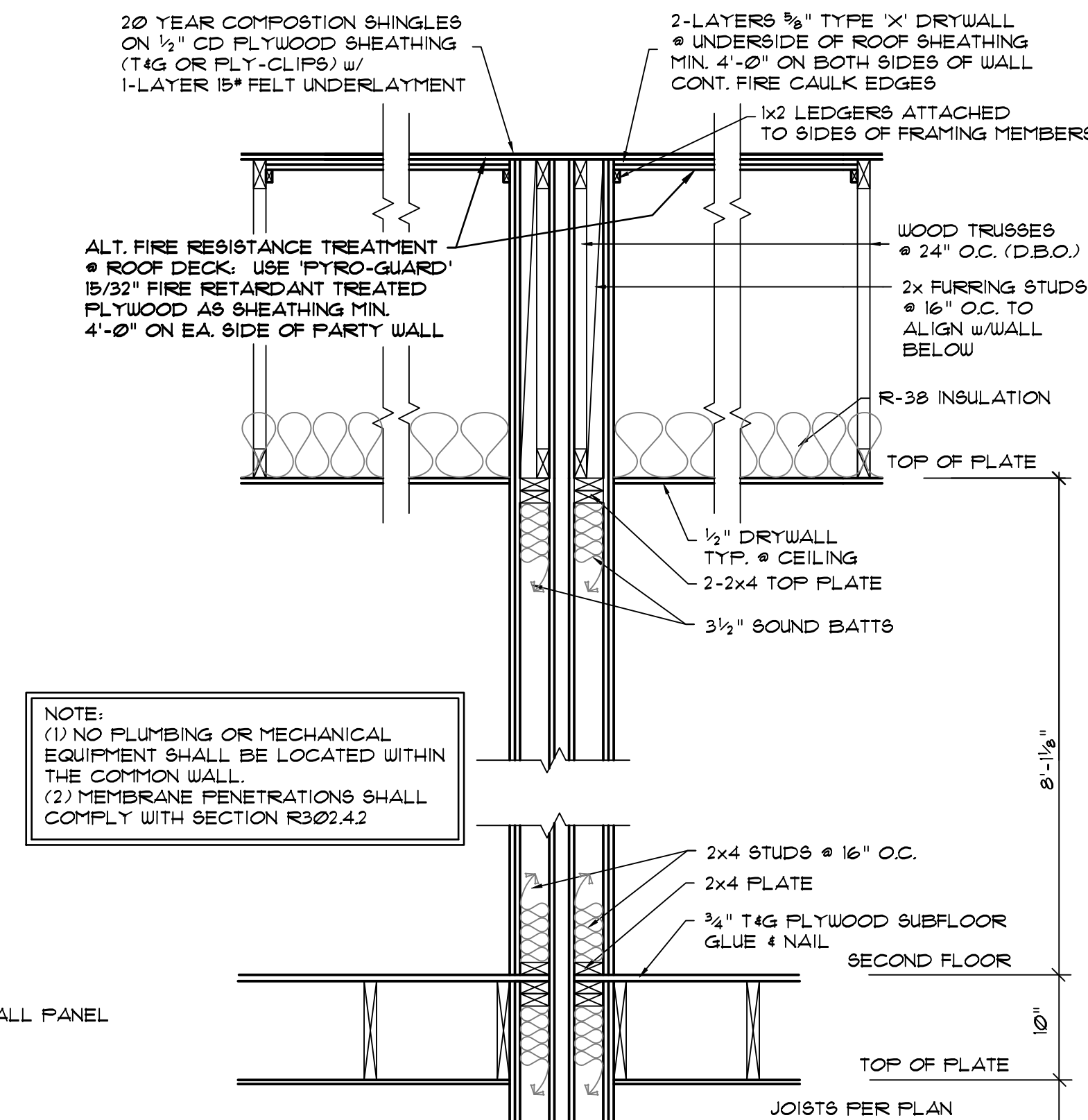
TYPICAL EAVE SECTION

3/4" = 1'-0"



GABLE END SECTION

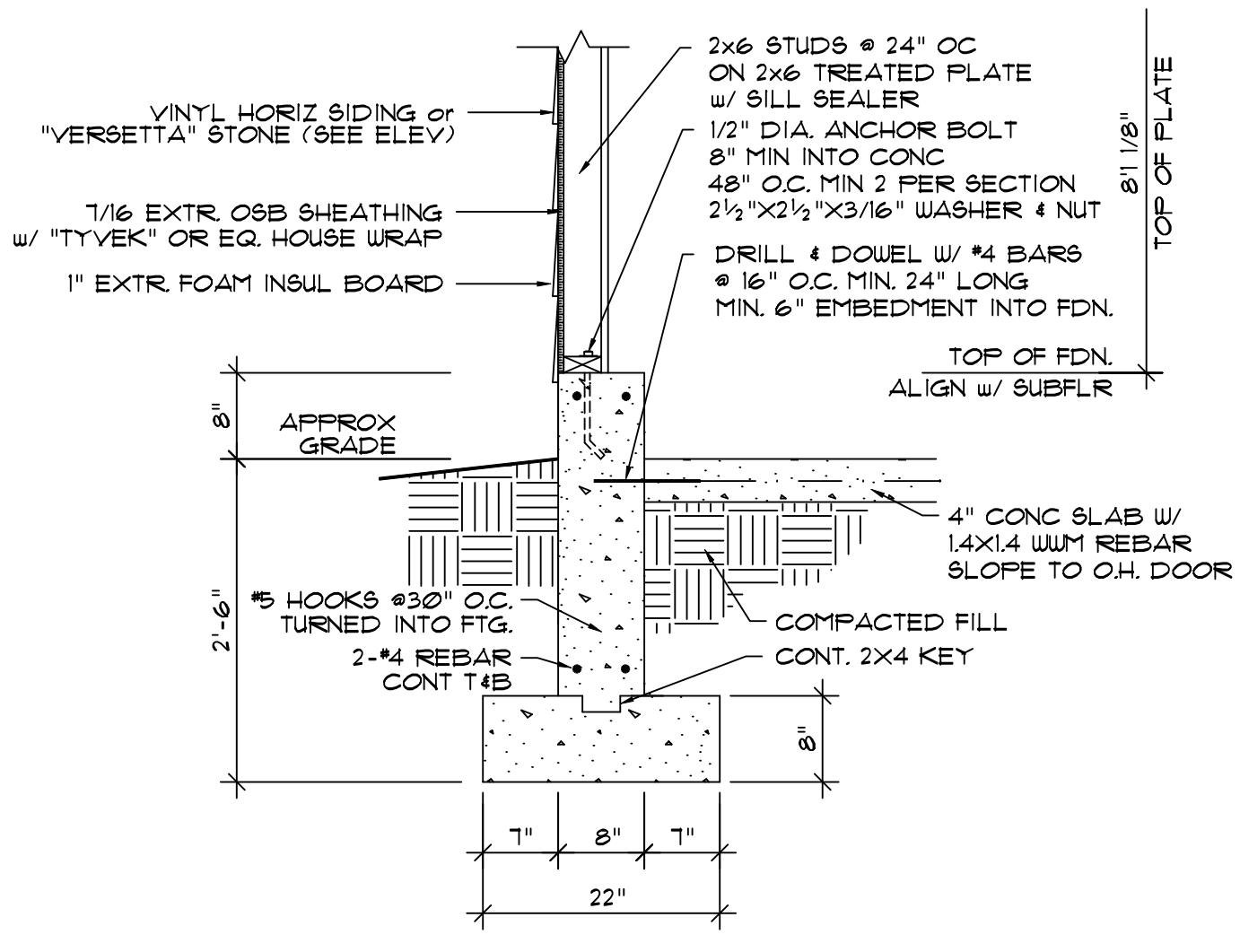
3/4" = 1'-0"



TYP. PARTY WALL SECTION

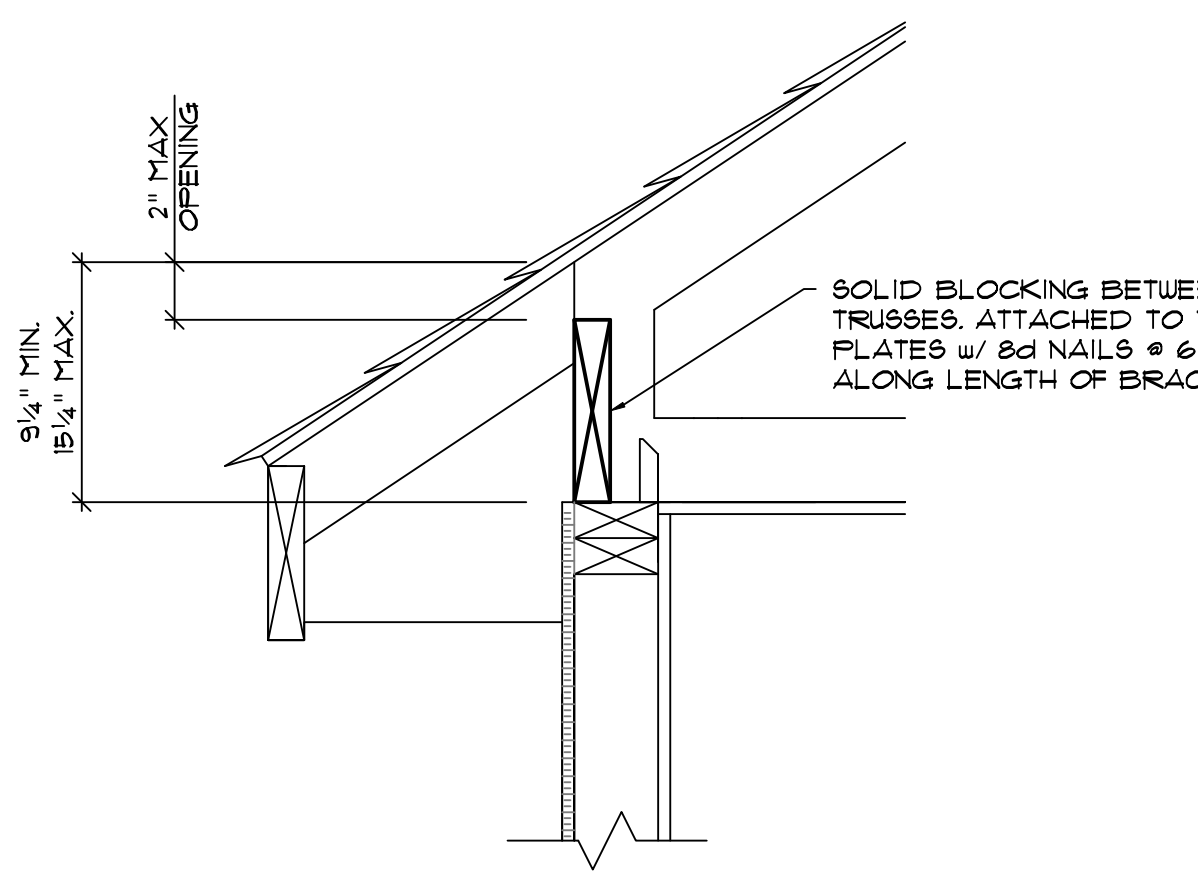
3/4" = 1'-0"

NOTE:
 (1) NO PLUMBING OR MECHANICAL EQUIPMENT SHALL BE LOCATED WITHIN THE COMMON WALL.
 (2) MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.2



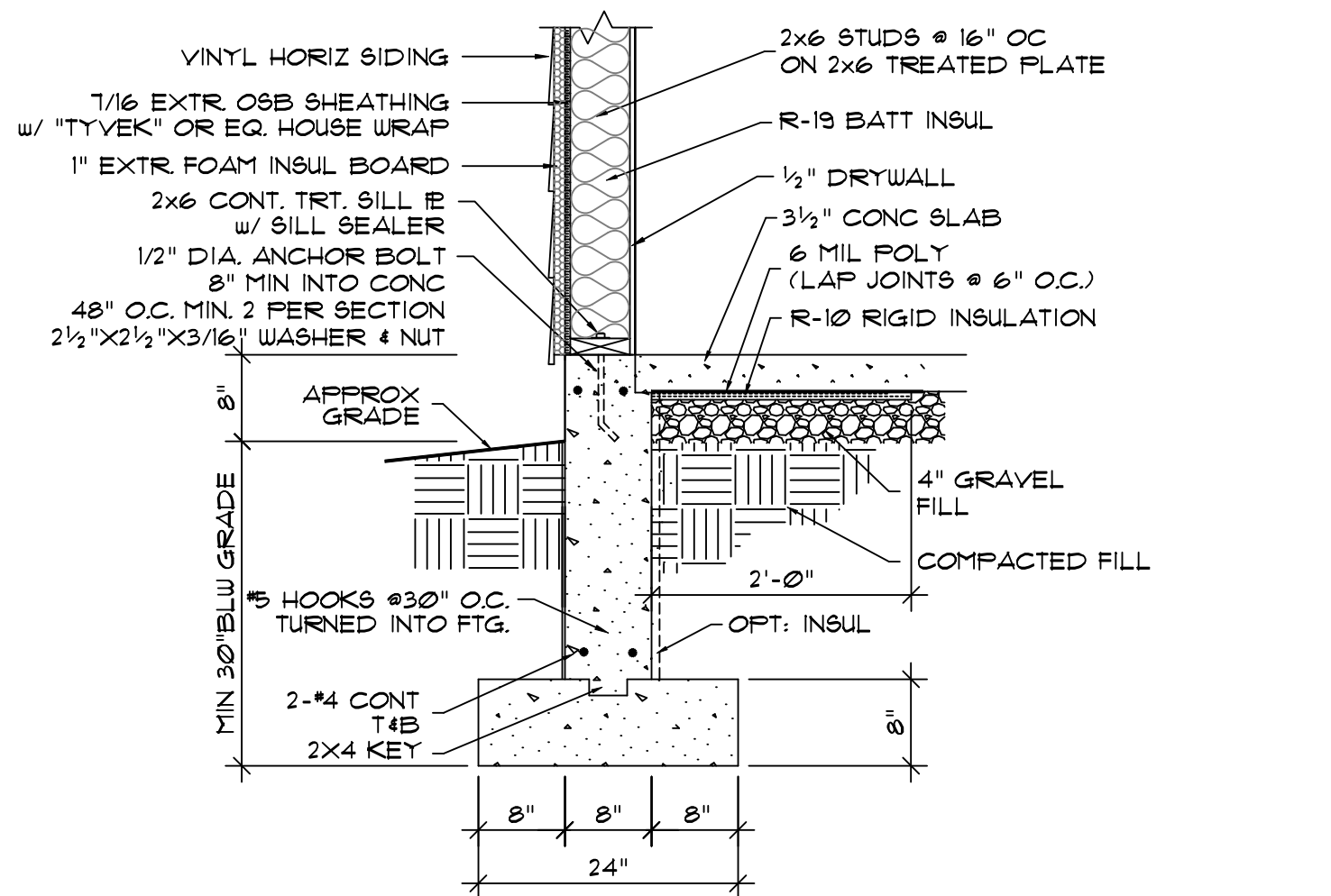
SECTION AT GARAGE FOUNDATION

3/4" = 1'-0"



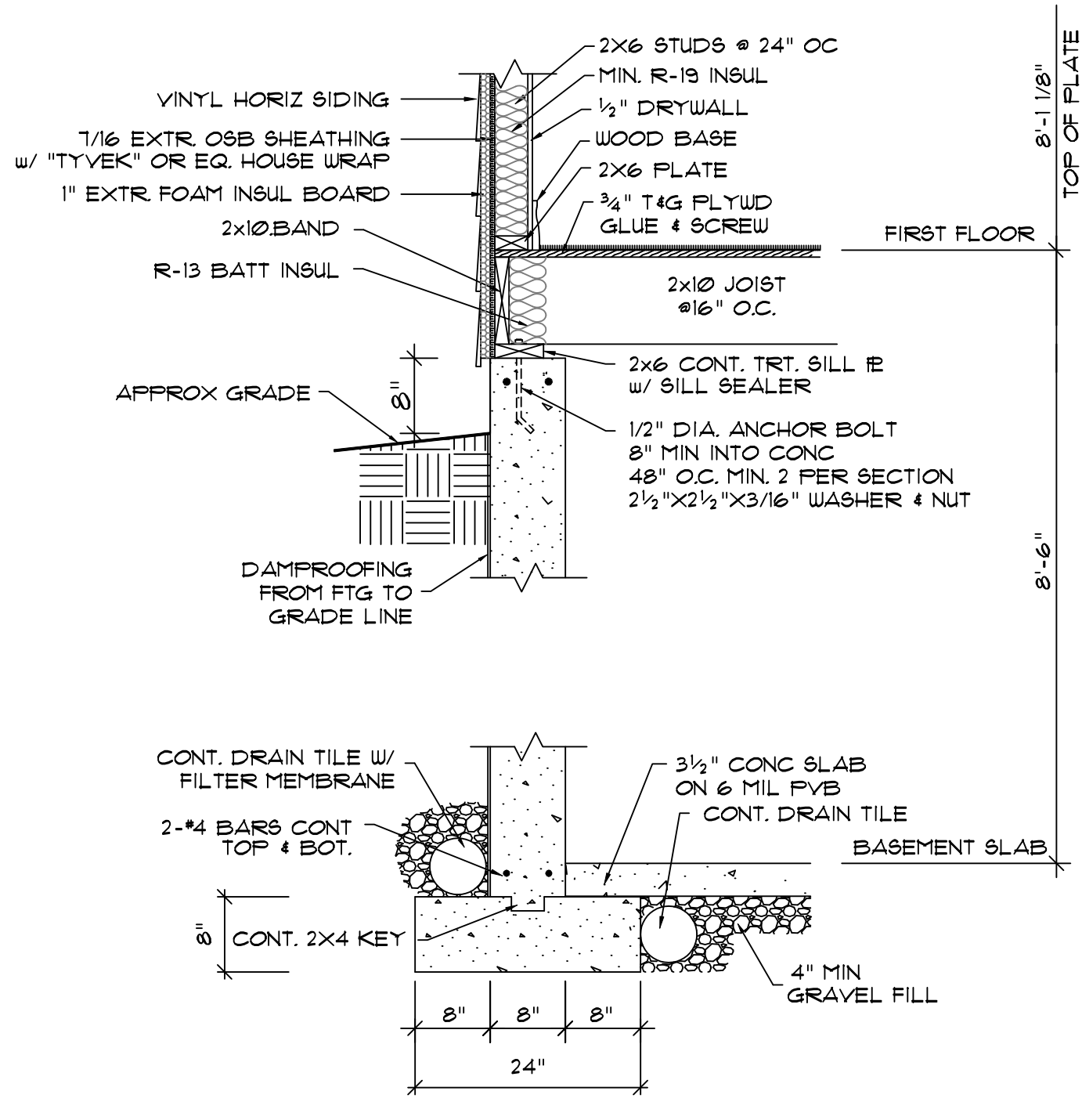
BRACED WALL PANEL CONNECTION TO PERPENDICULAR TRUSSES

1/2" = 1'-0"



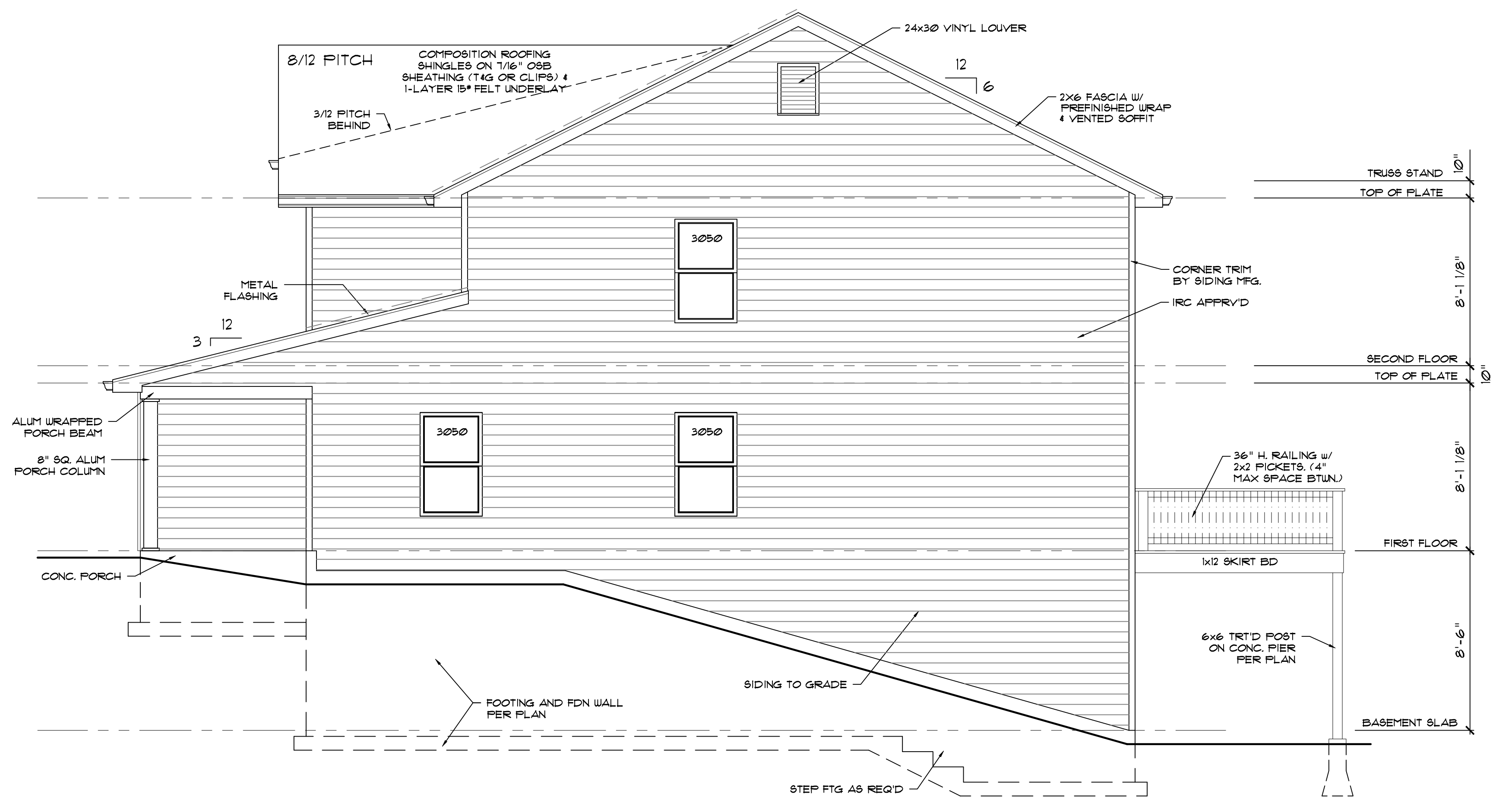
SECTION AT WALK-OUT FOUNDATION

3/4" = 1'-0"



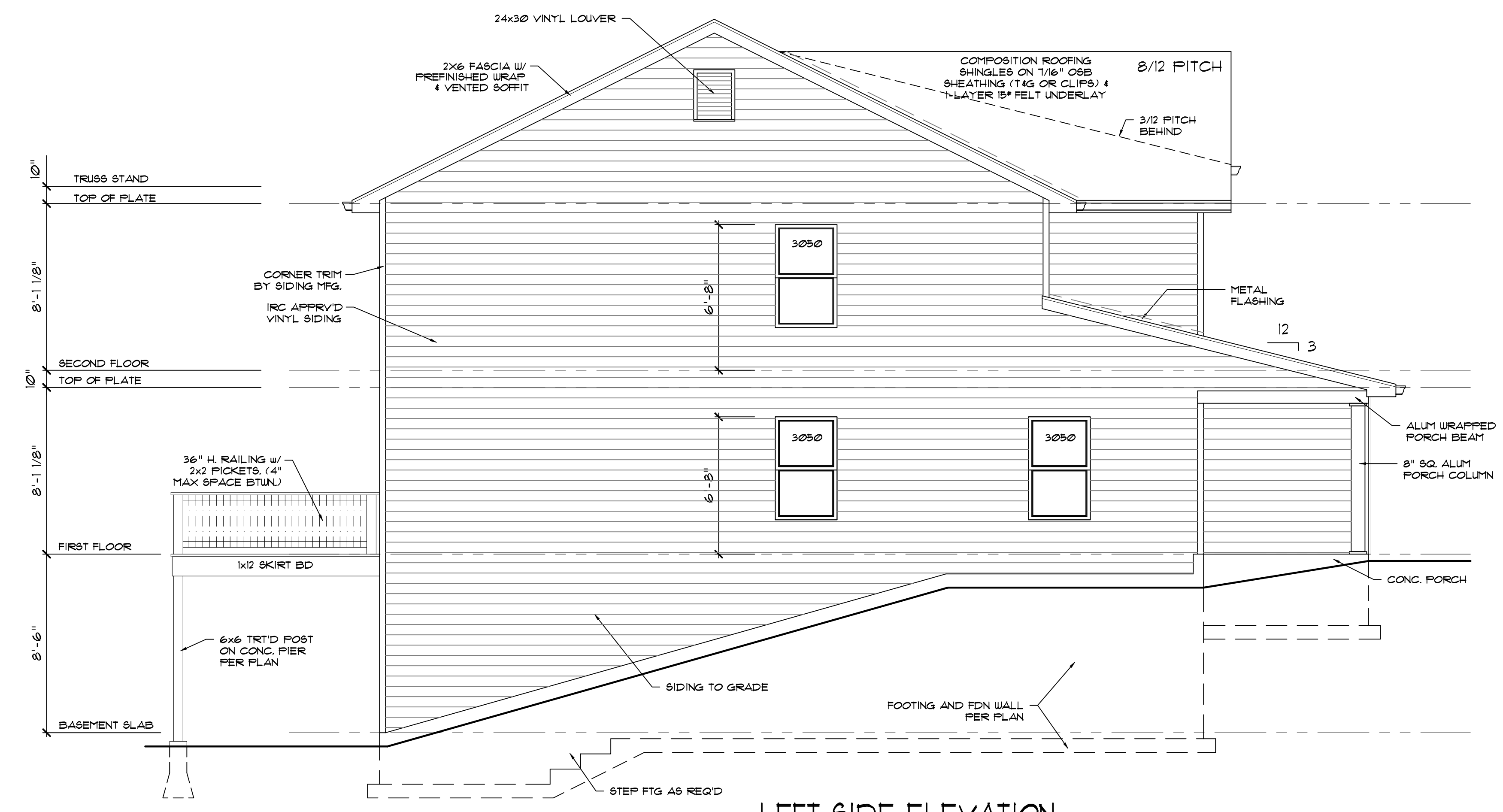
BASMENT WALL SECTION

3/4" = 1'-0"



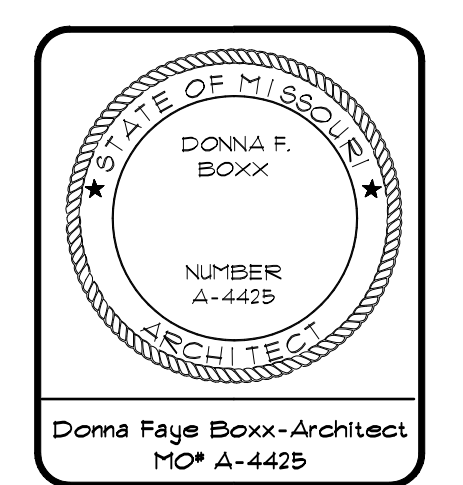
RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

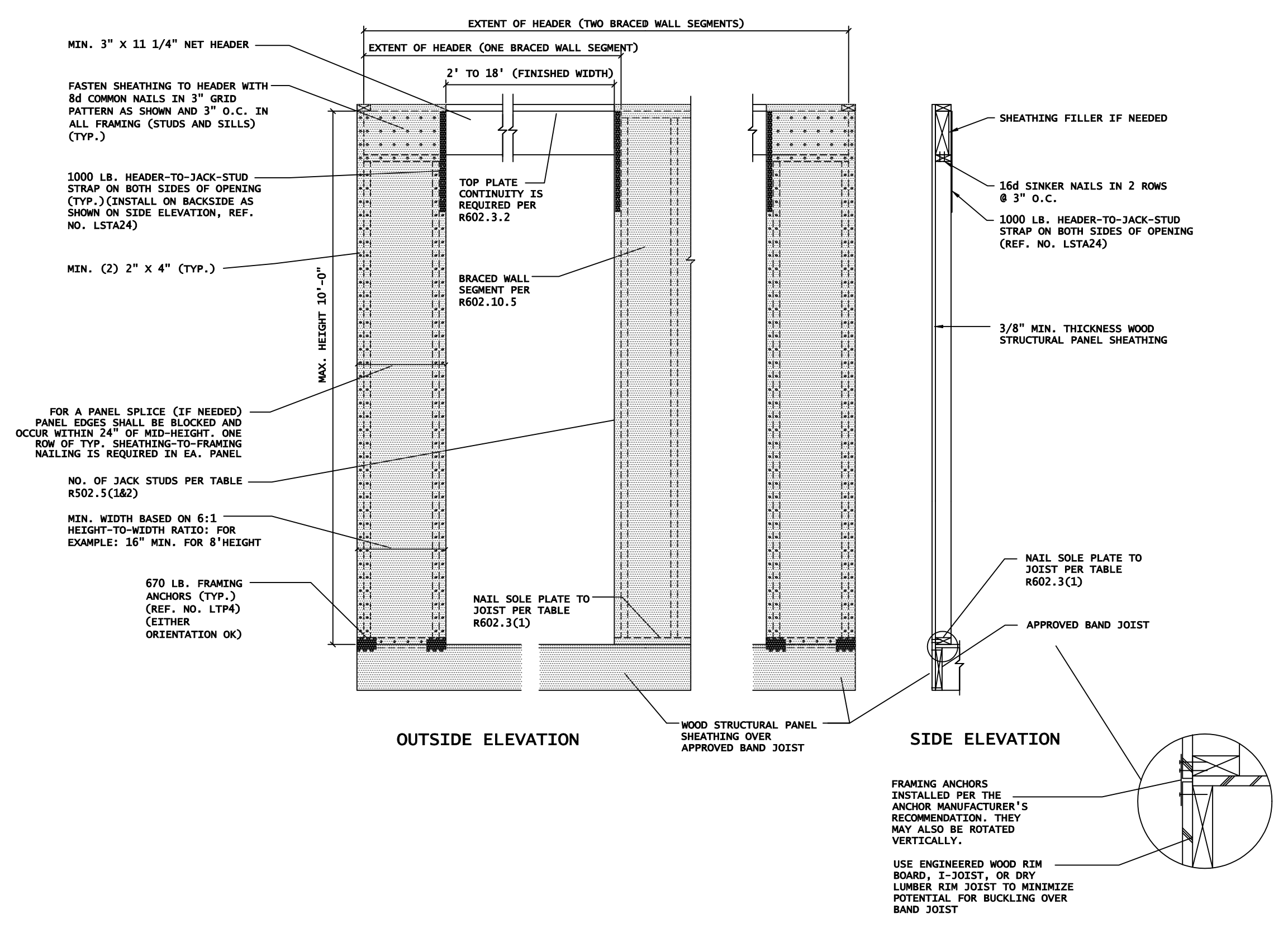
1/4" = 1'-0"



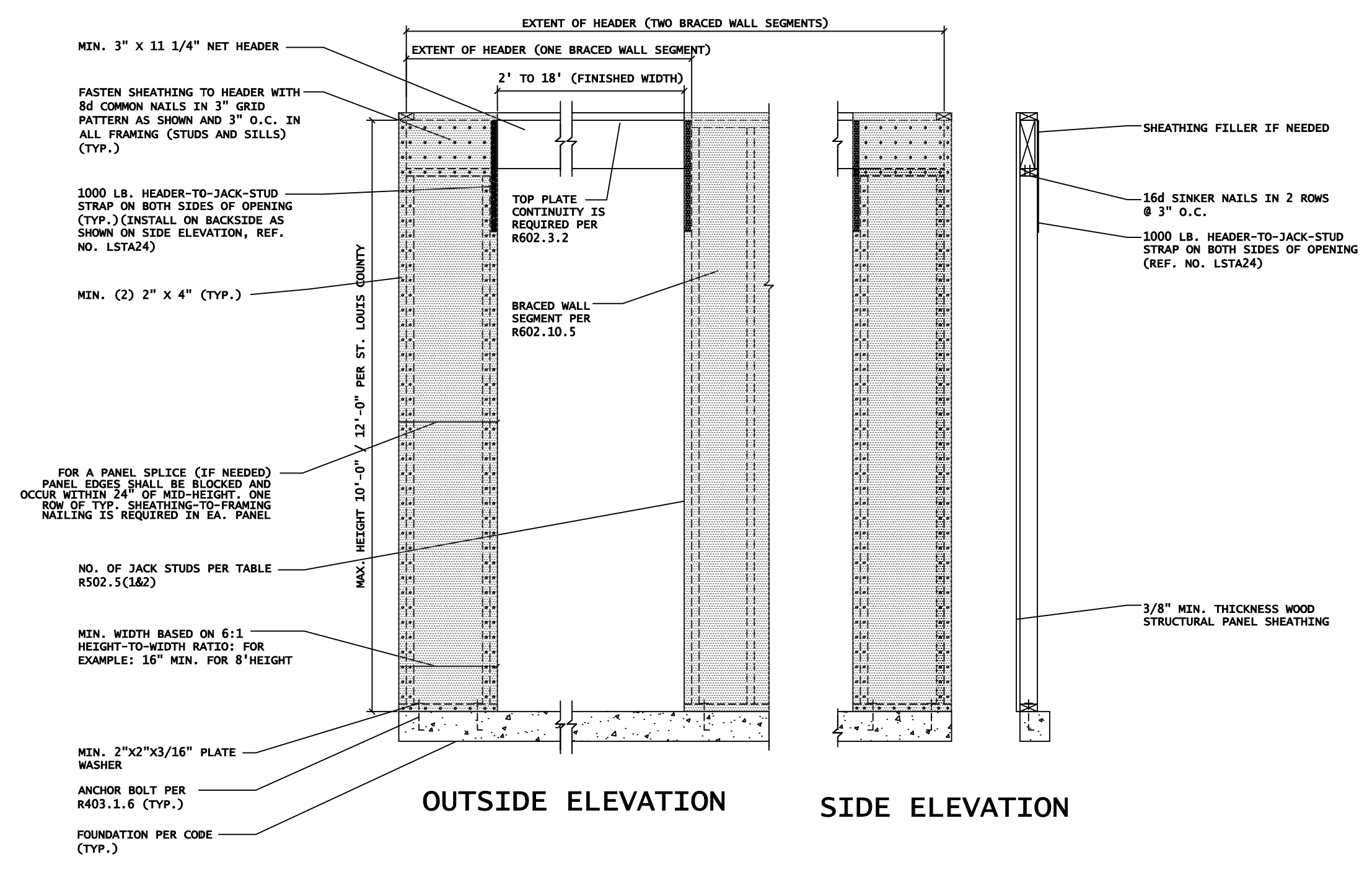
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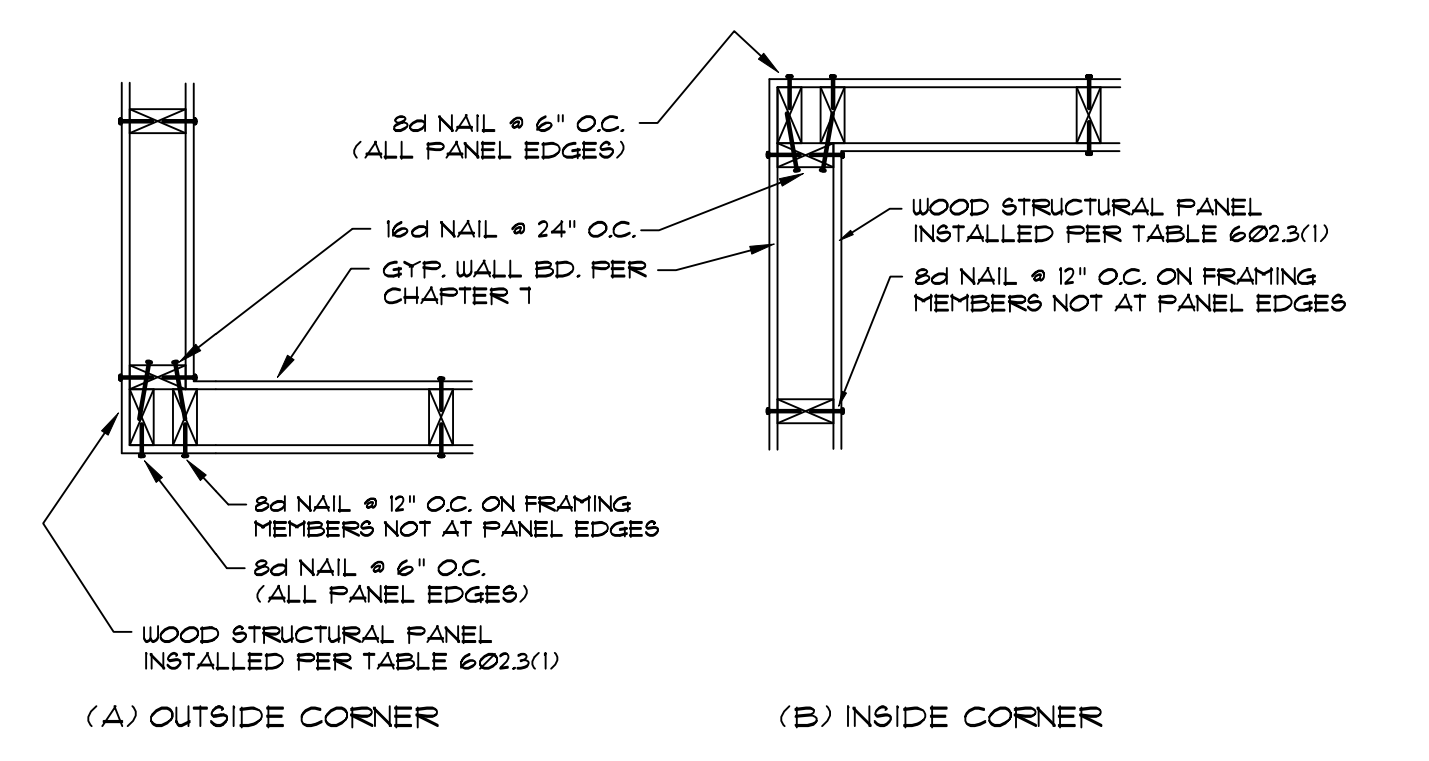
EXTERIOR ELEVATIONS
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385



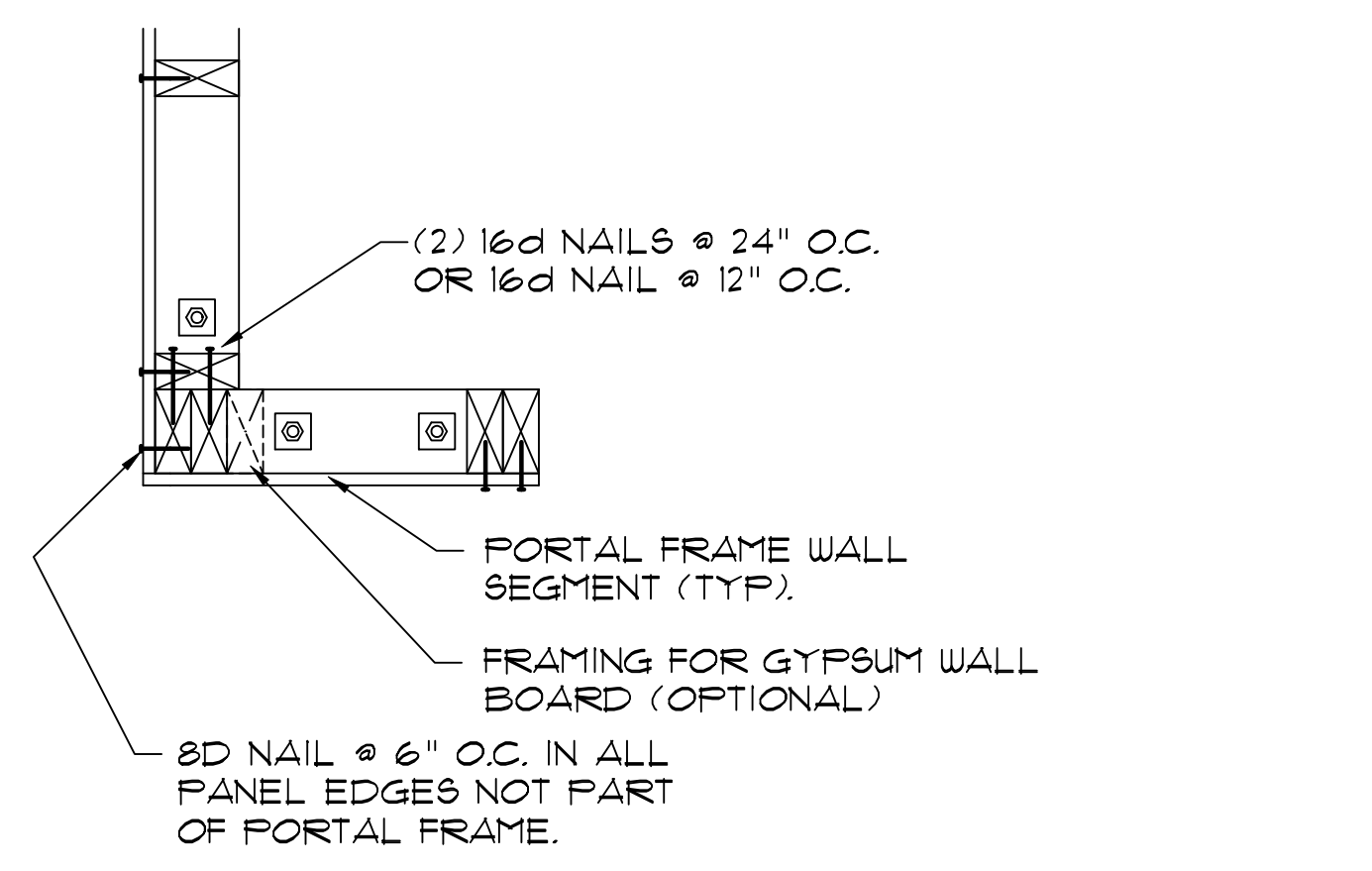
1 PORTAL FRAME
FRAMING ANCHOR OPTION @ RAISED FLR. WITHOUT HOLD-DOWNS
NO SCALE



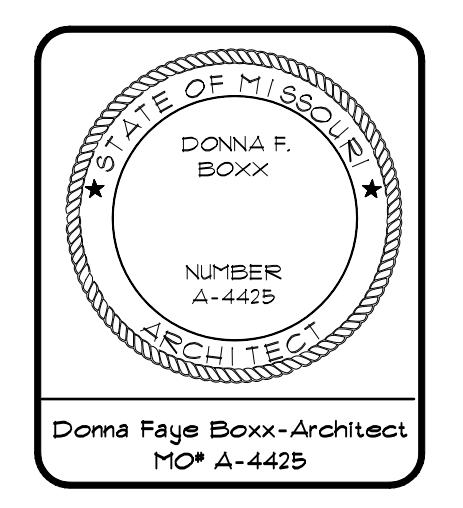
2 PORTAL FRAME
WITHOUT HOLD-DOWNS
NO SCALE



3 CORNER DETAILS
NOTE: THE END STUD ON THE ABOVE DETAILS MAY BE SHIFTED 1/8" TO ALLOW THE STUD FACE TO BE ALIGNED WITH THE SHEATHING.
NO SCALE



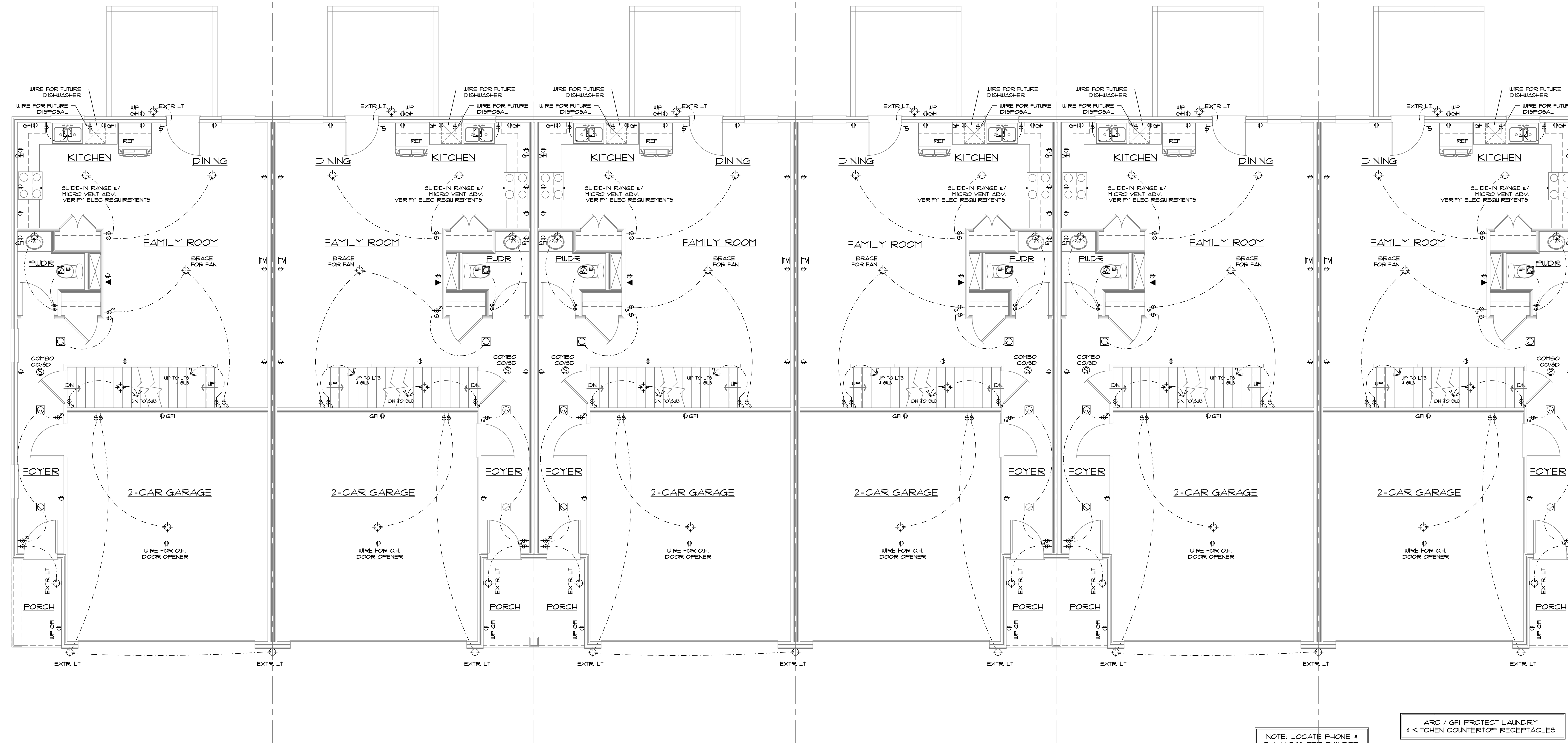
4 CORNER DETAILS @ PORTAL FRAMES
NO SCALE



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WALL BRACING DETAILS
HAVEN POINT
WENTZVILLE, MISSOURI 63385



NOTE: INSTALL UL LISTED SMOKE DETECTORS ON EACH LEVEL AS INDICATED ON THE DRAWINGS. SMOKE DETECTORS SHALL BE AC POWERED WITH BATTERY BACK-UP. ALL SMOKE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL OF THE ALARMS IN THE DWELLING. PROVIDE A CARBON MONOXIDE DETECTOR OUTSIDE IN THE IMMEDIATE VICINITY OF THE SLEEPING AREAS IF THE DWELLING CONTAINS A FUEL FIRED APPLIANCE OR HAS AN ATTACHED OR BASEMENT GARAGE. 20V POWERED w/ BATTERY BACK-UP & INTERCONNECTED w/ SMOKE DETECTORS.

ELECTRICAL SYMBOL LEGEND			
⊕	DUPLEX RECEPTACLE	⊕	TV / CABLE
⊕ 220V	220V. SPECIAL PURPOSE RECEPTACLE	⊕	DISPOSAL
⊕ WP	DUPLEX WATERPROOF RECEPT.	⊕	EXHAUST FAN
⊕ GFI	DUPLEX GROUND FAULT RECEPT.	⊕	INCAND. SURFACE MTD. LIGHT FIXTURE
⊕	DUPLEX FLOOR RECEPT.	⊕	INCAND. BRACKET LIGHT FIXTURE
⊕	SMOKE DETECTOR	⊕	INCAND. RECESSED LIGHT FIXTURE
⊕	CARBON MONOXIDE DETECTOR	⊕	PULL CHAIN LIGHT FIXTURE
⊕	TWO WAY SWITCH	⊕	FAN
⊕	THREE WAY SWITCH		
⊕	PHONE		

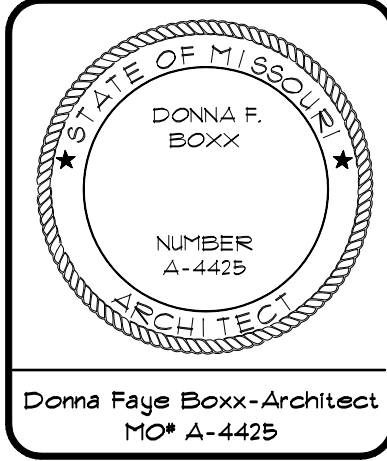
NOTE: LOCATE PHONE & T.V. JACKS PER BUILDER

ARC / GFI PROTECT LAUNDRY & KITCHEN COUNTERTOP RECEPTACLES

ALL ARC FAULT BRACH CIRCUITS TO MEET NEC 2014

FIRST FLOOR ELECTRIC PLAN

1/4" = 1'-0"

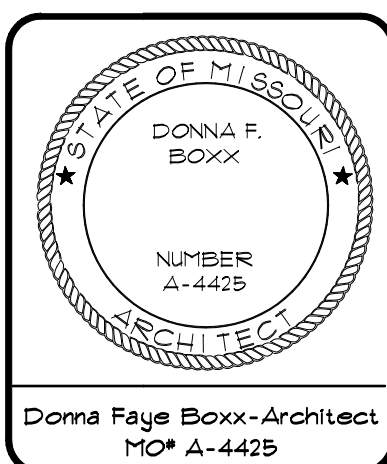


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PROPOSED NEW TOWNHOMES FOR:
Habitat for Humanity
 of St. Charles County
 2041 TRADE CENTER DRIVE
 ST. PETERS, MISSOURI 63376

FIRST FLOOR ELECTRIC PLAN
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385

DATE:	2-21-2024	JOB:	2022-95
REV:			
REV:			
SHEET:			
E-1			
1 of 2 SHEETS			



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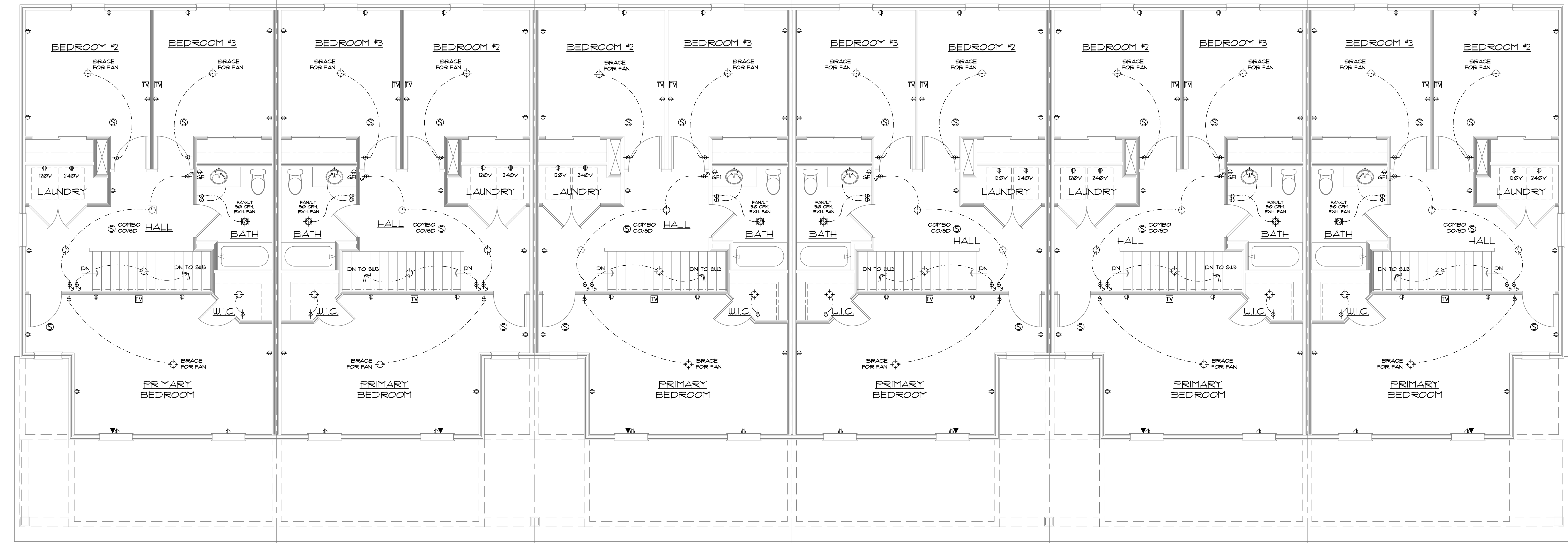
PROPOSED NEW TOWNHOMES FOR:
Habitat for Humanity
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 2041 TRADE CENTER DRIVE
 ST. PETERS, MISSOURI 63376

SECOND FLOOR ELECTRIC PLAN
 HAVEN POINT
 WENTZVILLE, MISSOURI 63385
 DATE: 2-21-2024 JOB: 2022-95
 REV: SHEET
E-2
 2 of 2 SHEETS

NOTE: INSTALL UL LISTED SMOKE DETECTORS ON EACH LEVEL AS INDICATED ON THE DRAWINGS. SMOKE DETECTORS SHALL BE AC POWERED WITH BATTERY BACK-UP. ALL SMOKE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. PROVIDE A CARBON MONOXIDE DETECTOR OUTSIDE 4 IN THE IMMEDIATE VICINITY OF THE SLEEPING AREAS, IF THE DWELLING CONTAINS A FUEL FIRED APPLIANCE OR HAS AN ATTACHED OR BASEMENT GARAGE. 120V POWERED w/ BATTERY BACK-UP 4 INTERCONNECTED w/ SMOKE DETECTORS.

ELECTRICAL SYMBOL LEGEND

⊙	DUPLEX RECEPTACLE	TV	TV / CABLE
⊙ 220 V	220 V. SPECIAL PURPOSE RECEPTACLE	⊘	DISPOSAL
⊙ WP	DUPLEX WATERPROOF RECEPT.	⊘	EXHAUST FAN
⊙ GFI	DUPLEX GROUND FAULT RECEPT.	⊘	INCAND. SURFACE MTD. LIGHT FIXTURE
⊙	DUPLEX FLOOR RECEPT.	⊘	INCAND. BRACKET LIGHT FIXTURE
⊙	SMOKE DETECTOR	⊘	INCAND. RECESSED LIGHT FIXTURE
⊙	CARBON MONOXIDE DETECTOR	⊘	PULL CHAIN LIGHT FIXTURE
⊙	TWO WAY SWITCH	⊘	FAN
⊙	THREE WAY SWITCH		
⊙	PHONE		



NOTE: LOCATE PHONE 4
 T.V. JACKS PER BUILDER

ARC / GFI PROTECT LAUNDRY
 4 KITCHEN COUNTERTOP RECEPTACLES

ALL ARC FAULT BRACH CIRCUITS TO
 TO MEET NEC 2014

SECOND FLOOR ELECTRIC PLAN

1/4" = 1'-0"